



TOWN OF RAYMOND

Planning Board Agenda

February 17, 2022

7:00 p.m. - Raymond High School

Media Center - 45 Harriman Hill

Application # 2021-019, 023 & 021

Public Announcement

*If this meeting is canceled or postponed for any reason the information can be found on our website, posted at Town Hall, Facebook Notification, and RCTV. **

1. Pledge of Allegiance

2. Public Hearing

Continuance until April 21, 2022

Application # 2021-019: A SITE PLAN application is being submitted by Joseph Coronati of Jones & Beach Engineers, Inc. on behalf of IC REED & Sons, Inc. The intent of the application is to show a recently constructed gravel laydown yard on the subject parcel and associated site improvements. The property is represented as Raymond Tax Map 22/ Lot 15 and located at 3 Gile Road.

Continuance request until March 3, 2022

Application #2021-023: A Subdivision application has been submitted by Bedford Design Consultants on behalf of 155 Farmington Rd, LLC for property identified as Raymond Tax Map 38/ Lot 20 located at 21 Dudley Road within Zone C1. The applicant is proposing to subdivide an existing 1.87+/- acre lot into a .701+/- acre lot with an existing single-family dwelling and 1.175+/- acre lot with existing storage units and a shared driveway.

Application # 2021-021: A SITE PLAN & CONDITIONAL USE application is being submitted by Joseph Coronati of Jones & Beach Engineers, Inc. on behalf of Rye Harbor Realty, LLC. They are proposing a Starbuck's restaurant on the end and the rest of the building for retail space with tenant unknown at this time with associated parking and utilities. The property is represented as Raymond Tax Map 29-3/ Lot 42-1 and located at Silver Fox Lane.

3. Approval of Minutes

- **1/20/2022(provided in 2/3/2022 packets)**
- **02/03/2022**

4. Public Comment

* Note: If you require personal assistance for audio, visual or other special aid, please contact the Selectmen's Office at least 72 hours prior to the meeting. If this meeting is postponed for any reason, it will be held at a time TBD.



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Application # 2021-019, 023 & 021

5. Other Business

- Staff Updates –
- Board Member Updates
- Any other business brought before the board

6. Adjournment (NO LATER THAN 10:00 P.M.)

PLANNING BOARD MEETING DATES 2022		
Submittal Deadline for Completed Application & Materials	Planning Board Meeting Dates (1st & 3rd Thursdays of the Month)	Projects Scheduled
January 20, 2022	February 17, 2022	STARBUCKS, ICREED & 603 STORAGE
February 03, 2022	March 03, 2022	155 Farmington Road/603 Storage
February 17, 2022	March 17, 2022	
March 03, 2022	April 07, 2022	
March 17, 2022	April 21, 2022	IC REED
April 07, 2022	May 05, 2022	
April 21, 2022	May 19, 2022	
May 05, 2022	June 02, 2022	
May 19, 2022	June 16, 2022	
June 02, 2022	July 07, 2022	
June 16, 2022	July 21, 2022	
July 07, 2022	August 04, 2022	
July 21, 2022	August 18, 2022	
August 04, 2022	September 01, 2022	
August 18, 2022	September 15, 2022	
September 01, 2022	October 06, 2022	
September 15, 2022	October 20, 2022	
October 06, 2022	November 03, 2022	
October 20, 2022	November 17, 2022	
November 03, 2022	December 01, 2022	
November 17, 2022	December 15, 2022	

* Note: If you require personal assistance for audio, visual or other special aid, please contact the Selectmen’s Office at least 72 hours prior to the meeting. If this meeting is postponed for any reason, it will be held at a time TBD.

Memo

To: Planning Board
From: Christina McCarthy, TRC
cc: IC REED
Date: 02/03/2021
Re: Continuance Request from TRC

On February 2, 2022 the TRC convened to continue Application 2021-019 IC REED until March 29, 2022. The TRC voted unanimously to continue Application 2021-019 IC REED until March 29, 2022. We would like the Planning Board to grant a continuance until April 21, 2022 so TRC will have the time to provide both advisory comments and minutes to the meeting of March 29, 2022 to the Planning Board. Thank you for your consideration.

Re: 155 Farmington Road, LLC, Subdivision on Dudley Road

Christina McCarthy <cmccarthy@raymondnh.gov>

1/11/2022 10:04 AM

To: Craig Francisco <caf@BedfordDesign.com>

Thank you for letting me know.

Christina McCarthy

Tax Collector

Town of Raymond

4 Epping Street

Raymond NH 03077

603-895-7016

cmccarthy@raymondnh.gov

An investment in knowledge, pays the best interest.

From: Craig Francisco <caf@BedfordDesign.com>

Sent: Friday, February 11, 2022 9:53 AM

To: Christina McCarthy <cmccarthy@raymondnh.gov>

Subject: 155 Farmington Road, LLC, Subdivision on Dudley Road

Chris,

I have spoken with my clients, and we are requesting a continuance to the March 3, 2022 Planning Board Meeting.

Thank you,

Craig

Craig A. Francisco, L.L.S. - Director of Surveying and Mapping

caf@bedforddesign.com

Bedford Design Consultants - Engineers and Surveyors

592 Harvey Road, Manchester, NH 03103

Phone (603) 622-6533, Fax (603) 622-4740

Visit our Website! www.bedforddesign.com

Developments with Regional Impact

Project Name: /Starbuck's

Application No.: 2021-021

Tax Map & Lot: 29-3/42-5

The Rockingham Planning Commission has developed this guidance document to aid our communities in evaluating whether or not a development should be determined to have regional impact. The document summarizes the statutory process that must be followed under New Hampshire state law and suggest a number of triggering factors that should be considered for making this determination. Bear in mind that the criteria suggested here are our recommendations: they have no regulatory force.

Statutory Authority: refer to RSA 36:54-58 – The purpose of this statute is to establish the framework to be followed by a community that is reviewing a development proposal with **potential impacts beyond its municipal boundaries.**

Findings of YES on one or more of the items below indicates the possible need for a local land use board to make a determination that the development proposal results in regional impacts.

NOTE: THIS IS ON A REGIONAL BASIS NOT A LOCAL BASIS

1. **School Impacts:** Does the development create significant new student population affecting a regional school district? ___ Yes ___ No
 2. **Traffic Generation:** Will the project generate traffic that will create an impact on surrounding municipalities? ___ Yes ___ No
 3. **Road Networks:** Does the development provide the opportunity to create a more efficient road network for the regional area or potentially affect regional travel patterns? ___ Yes ___ No
 4. **Building Size:** Is the proposed building greater than 50,000 square feet and located within 2,500 feet of a municipal line? ___ Yes ___ No
 5. **Visual Impacts:** Will the development create visual impacts to neighboring municipalities such as light pollution, glare, or structures visible from neighboring municipalities? ___ Yes ___ No
 6. **Pollution:** Does the development propose the operation of a facility or business which would generate excessive amount of air pollution, wastewater discharge, noise, or hazardous waste transport? ___ Yes ___ No
 7. **Water Supply Impacts:** Will the development require a major impact wetland permit from NH DES? ___ Yes ___ No
-

Will impacts to known aquifers occur? ___ Yes ___ No

Does the project involve permitting for a large groundwater withdrawal? ___ Yes ___ No

Will the development cause negative impacts to another community's municipal water supply?
___ Yes ___ No

8. **Conservation Lands:** Does the development abut existing conservation lands, greenway or existing farmland such that coordination between municipalities could lead to the creation or preservation of greenways or wildlife habitat areas or prevent fragmentation of forests, farms or other conservation lands?
___ Yes ___ No

9. **Economic Impacts:** Does the development propose the creation of business or industry that would significantly impact regional economic development? ___ Yes ___ No

10. **Emergency Response:** Does the proposal create a significant increased demand for emergency services response (including mutual aid) from abutting communities? ___ Yes ___ No

11. **Historic or Cultural Resources:** Does the proposed development have negative impacts on historic or cultural resources that may have significance regionally? ___ Yes ___ No

12. **Other:** Does the development create other regional impacts not listed in items 1 – 11 above?_
___ Yes ___ No

Describe: _____

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

November 18, 2021

Raymond Planning Board
Attn. Jonathan Wood, Chair
4 Epping Street
Raymond, NH 03077

**RE: Site Plan & Conditional Use Application
Silver Fox Lane, Raymond, NH
Tax Map 29-3, Lot 42-1
JBE Project No. 14163.7**

Dear Mr. Wood,

Jones & Beach Engineers, Inc. respectfully submits a Site Plan & Conditional Use Application for the above-referenced parcel on behalf of our client, Rye Harbor Realty, LLC. The intent of this application is to propose one building on the parcel with a Starbucks restaurant on the end and the rest of the building for retail space with tenant unknown at this time. There is a long drive-thru lane with a bypass around the building for the Starbucks use.

The rear of the building has a loading area, dumpster pad for Starbucks and a separate one for the retail. There will be a total of 60 parking spaces proposed with 3 handicap parking spaces. The access to the corner lot is proposed with an entrance only from Essex drive and a full access onto Silver Fox Drive. This provides circular access around the building and will allow traffic to enter across from McDonalds.

We are proposing to expand the existing wet pond located along Essex Drive to handle the stormwater from this development. We have a septic system located along the property line with the medical building. The water service will be coming in from Silver Fox Drive and the building will be sprinklered.

The property is also located within the Groundwater Protection Zone and therefore we have also requested a Conditional Use Permit. We will have more than 15% of the site impervious and therefore we trigger Section 5.2.11.2. The use is not a prohibited use and there is no storage or containment of hazardous materials onsite.

The following items are provided in support of this Application:

1. Site Plan & Conditional Use Application with Checklist.
2. Waiver Request.
3. Letter of Authorization.
4. Current Deed.
5. Fee Check.
6. Abutters List & Mailing Labels (3 sets).
7. Tax Map
8. Three (3) Drainage Analysis.
9. 11" x 17" Architectural Plan.
10. Six (6) Full Size Plan Sets.
11. Ten (10) Reduced Size (11" x 17") Plan Sets.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,

JONES & BEACH ENGINEERS, INC.



Joseph Coronati
Vice President

cc: Michael Garrepy, Rye Harbor Realty, LLC (application and plans via email)
Ross Tsantoulis, DuBois & King (application, drainage and plans via email & U.S. Mail)
Rachel Miller, Alrig (application and plans via email)
Beau Wynn, Detroit Architectural Group (application and plans via email)
Stephen Pernaw, Traffic (application and plans via email)



Map # 29-3 Lot # 42-1

Site Plan Review Application

Town of Raymond, NH

Project Name: Starbuck's Site Plan

Location: Silver Fox Lane, Raymond, NH

Project Description: To propose a Starbuck's restaurant with associated parking and utilities.

Zone: C1 Commercial C1 New Industrial/Commercial Square Footage: 7,240 or Number of Residential Units: _____

Applicant/Agent Information:

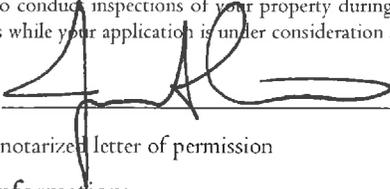
Name: Rachel Miller

Phone: _____ Fax: _____

Company: Alrig, USA

Address: 30200 Telegraph Road, Suite 205, Bingham Farms, MI 48025

By signing this application, you are agreeing to all rules and regulations of the Town of Raymond, and are agreeing to allow agents of the Town of Raymond to conduct inspections of your property during normal business hours to ensure compliance with all Raymond Zoning and Site Plan Review Regulations while your application is under consideration and during any construction and operational phases after approval is granted.

Signed*:  Date: 11/10/21

*Requires notarized letter of permission

Owner Information:

Name: Turner Porter

Phone: 603-778-6894 Fax: _____

Company: Rye Harbor Realty, LLC

Address: 149 Epping Road, Suite 2A, Exeter, NH 03833

Signed:  Date: 11/10/21

Designers of Record: (Provide Name & License Number for each)

Engineer: Michael Kerivan, Jones & Beach Engineers, Inc. - #9846

Surveyor: David Collier, Jones & Beach Engineers, Inc. - #892

Soil Scientist: James Gove, Gove Environmental Services

Landscape Architect: Waiver Requested

Fire Protection Engineer: _____

Other(s): _____

FEES: See attached Fee Schedule

For Office Use Only:

Date Application Received: _____ Total Fees Collected w/Application: _____

Abutters List Received: _____ Plans & Checklist Received: _____



**Application for Conditional Use Permit
Groundwater Conservation Overlay District
Town of Raymond, NH**

Conditional Use Permits are Subject to Site Plan Approval by the Planning Board
Raymond Zoning Ordinance, Article 5, Section 5.2

Map # 29- Lot # 42-1 Application Date 11/18/21 Application # _____

Project Name: Starbuck's Proposed Site Plan

Location: Silver Fox Lane, Raymond, NH

Commercial C1
Zone: C1 New Industrial/Commercial Square Footage: _____ or Number of Residential Units: _____

Applicant/Agent Information:

Name: Rachel Miller Phone: (603) 778-6894

Company: Alrig, USA Fax: _____

Address: 30200 Telegraph Road, Bingham Farms, MI 48025

Signed*:  Date: 11/10/21

Please Check All that Apply:

5.2.11. CONDITIONAL USES: The issuance of a Conditional Use Permit is subject to Site Plan Approval by the Planning Board. The Planning Board may grant a Conditional Use Permit for a use that is otherwise permitted within the underlying district, if the permitted use is or is involved in one or more of the following:

5.2.11.1. Storage, handling, and use of regulated substances in quantities exceeding 100 gallons or 800 pounds dry weight at any one time, provided that an adequate spill prevention, control and countermeasure (SPCC) plan prepared in accordance with Section 5.2.7 by a qualified professional, submitted to the Technical Review Committee for review and approval, with the final plan also submitted to the Raymond Fire Department and the Raymond Community Development Department for its records. The Technical Review Committee may employ the services of a qualified peer review professional to review the plan at the applicant's expense.

5.2.11.2. Any use that will render impervious more than 15% or 2,500 square feet of any lot, whichever is greater.

5.2.11.3

In granting such approval the Planning Board must first determine that the proposed use is not a prohibited use and will be in compliance with the Performance Standards as well as all applicable local, state and federal requirements. The Planning Board may, at its discretion, require a performance guaranty or bond, in an amount and with surety conditions satisfactory to the Board, to be posted to ensure completion of construction of any facilities required for compliance with the Performance Standards. The amount of this bond shall be in addition to any other bond required by the Board under either the Subdivision or Site Plan Review Regulations.

(Continued)



Application for Conditional Use Permit Groundwater Conservation Overlay District Town of Raymond, NH

If you chose 5.2.11.1, above, you must provide a SPCC plan in accordance with the following:

5.2.7 SPILL PREVENTION, CONTROL AND COUNTERMEASURE (SPCC) PLAN: Conditional Uses, as described under Section 5.2.11 of this Ordinance shall submit a spill control and countermeasure (SPCC) plan to the Technical Review Committee (TRC) who shall determine whether the plan will prevent, contain, and minimize releases from ordinary or catastrophic events such as spills, floods or fires that may cause large releases of regulated substances. It shall include:

- 5.2.7.1 A description of the physical layout and a facility diagram, including all surrounding surface waters and wellhead protection areas;
- 5.2.7.2 Contact list and phone numbers for the facility response coordinator, cleanup contractors, and all appropriate federal, state, and local agencies who must be contacted in case of a release to the environment;
- 5.2.7.3 A list of all regulated substances in use and locations of use and storage;
- 5.2.7.4 A prediction of the direction, rate of flow, and total quantity of regulated substance that could be released where industry experience indicates a potential for equipment failure;
- 5.2.7.5 A description of containment and/or diversionary structures or equipment to prevent regulated substances from infiltrating into the ground; and
- 5.2.7.6 Emergency response plan describing and assigning responsibilities and actions to be taken.

Raymond NH Planning Board Waiver Request Form
Applicable to Site Plan Review and Subdivision Regulations

Project Name & Application Number:

Regulation, Article & Section from which a waiver is being sought:

Site Plan Regulation Section 6.10.04 - Licensed Landscape Architect

Where the Planning Board finds that unnecessary hardship may result from strict compliance with these regulations with respect to a particular tract of land, the Board may modify or waive these regulations so that substantial justice may be done and the public interest is secured, provided that:

Please respond to the criteria below:

- a. Explain how the granting of the waiver will not be detrimental to public safety, health, or welfare or injurious to other adjacent property;

This is a private site and we are proposing substantial plantings and their is no detrimental effect to public safety, health or welfare or injurious to other adjacent property.

- b. Explain how granting this waiver shall not have the effect of nullifying the intent and purpose of these regulations, the Zoning Ordinance, Master Plan or Official Zoning Map;

We are requesting a waiver from having a Licensed Landscape Architect draft and stamp the plan as we have hired LM Land Design, Lise McNaughton from Brentwood, NH to do the planting design work. Lise is more than qualified to provide landscape plans as you can see by the variety of plantings selected.

In granting waivers, the Planning Board may require such conditions as will, in the Board’s judgment, secure substantially the objectives of the standards or requirements of these regulations.

A petition for waiver shall be submitted by the applicant at the time when the application is filed for consideration by the Planning Board. All petitions shall be made in writing using the Town’s Waiver Request Form. The petition shall state fully the grounds for the waiver and all of the facts relied upon by the petitioner.

Any granted waivers must be noted on the final approved plan.

MEMORANDUM

Ref: 2163A

To: Rye Harbor Realty, LLC

From: Stephen G. Pernaw, P.E., PTOE

Subject: Proposed Commercial Subdivision – Essex Commons
Raymond, New Hampshire

Date: November 11, 2021

Background – On September 4, 2018 our office prepared the report entitled: “*Traffic Impact and Site Access Study*” on behalf of Rye Harbor Realty, LLC to assess the traffic impacts associated with the proposed commercial subdivision of land at the southeast quadrant of the NH107/Essex Drive signalized intersection in Raymond, New Hampshire. Rye Harbor Realty, LLC proposed to subdivide the 10.88-acre site into several commercial building lots and construct a subdivision road that will extend from the south side of Essex Drive. That study was based on a hypothetical build-out scenario for the various lots. At this juncture, the development scenario continues to be refined as certain lots have been “reserved” for potential users. The purpose of this memorandum is to provide updated trip generation estimates for the overall site based on the current development proposal that now includes a new Starbucks coffeehouse, retail business, and Domino’s restaurant.

Proposed Development – According to the “*Overview Site Plan*” prepared by Jones & Beach Engineers, Inc. dated 9/17/19 (revised 11/12/19) the current development proposal now involves the construction of a new Starbucks building with a separate retail tenant on the west side of Silver Fox Drive. Vehicular access to this site is proposed via an entrance only driveway on Essex Drive and a full-access driveway on Silver Fox Drive. A Domino’s restaurant is now proposed on the east side of Silver Fox Drive with entrance-only and exit-only driveways located approximately 300-feet and 200-feet south of Essex Drive, respectively (Attachment 1).

	INITIAL DEVELOPMENT SCENARIO	PREVIOUS DEVELOPMENT PROPOSAL	CURRENT DEVELOPMENT PROPOSAL
<u>Accessed via Subdivision Road</u>			
General Office (sf)	6,000	0	0
Self-Storage (sf)	28,800	67,200	67,200
Medical Office (sf)	0	23,790	23,790
Hotel (rooms)	100	0	0
Retail (sf)	11,200	0	0
Gas Station (sf/vfp)	4,370 / 10	4,370 / 10	0
Car Wash (bays)	0	3	0
Domino’s (sf)	0	0	2,500
Starbucks (sf)	0	0	2,200
Retail (sf)	0	0	5,040
<u>Accessed via Essex Drive</u>			
Day Care (sf)	0	7,300	7,300

Trip Generation - To estimate the quantity of vehicle-trips that will be produced by the current development proposal, Pernaw & Company, Inc. considered several standard trip generation rates and equations published by the Institute of Transportation Engineers¹ (ITE). Table 2 on the following page summarizes the updated trip generation estimates for the overall site. The current development proposal will generate 360 vehicle-trips (157 arrivals, 203 departures) during the PM peak hour period, and 460 vehicle-trips (237 arrivals, 223 departures) during the Saturday midday peak hour period. The derivation of these estimates is found on Attachment 2.

Table 1 below demonstrates that the current development proposal will generate approximately -12 fewer vehicle-trips during the PM peak hour period, when compared with the initial traffic study. The current development proposal is expected to generate approximately +92 additional Saturday midday peak hour vehicle-trips when compared with the initial hypothetical development.

Table 1		Trip Generation Summary - Overall site			
		Initial Development ¹	Previous Development ²	Current Development	Conclusion
PM Peak Hour					
	Entering	182 veh	208 veh	157 trips	
	Exiting	<u>190 veh</u>	<u>251 veh</u>	<u>203 trips</u>	
	Total	372 trips	459 trips	360 trips	-12 fewer trips than Initial Development
Saturday Peak Hour					
	Entering	190 veh	201 veh	237 trips	
	Exiting	<u>178 veh</u>	<u>185 veh</u>	<u>223 trips</u>	+74 from previous
	Total	368 trips	386 trips	460 trips	+92 from initial

¹"Traffic Impact and Site Access Study - Proposed Commercial Subdivision," Raymond, NH, dated September 4, 2018 by SGP & Co., Inc.

²"Memorandum - Proposed Commercial Subdivision - Essex Commons", Raymond, NH dated November 15, 2018 by SGP & Co., Inc.

Attachments 3-5 show the anticipated distribution of site traffic from the current development proposal throughout the study area. The net increase at the signalized intersection during the Saturday midday peak hour changes from +269 vehicles (initial traffic study) to +300 vehicles with the current development proposal. Based on the 90-second traffic signal cycle length observed in the field, the impact of the current development proposal translates into less than one additional vehicle during each traffic signal cycle during the Saturday peak hour period. Increases of this order of magnitude will not significantly alter traffic operations or the Level of Service at the signalized study area intersection. During the weekday PM peak hour, the current development proposal is expected to generate fewer vehicle-trips than was portrayed in the original traffic study.

Table 2

Updated Trip Generation Summary - Overall Site

Peak Hour Volumes

	Medical Office ¹	Day Care ²	Domino's ³	Starbucks ⁴	Self Storage ⁵	Retail ⁶	Subtotal	Less Trip Linking	Total	Pass-By Trips ⁷	Primary Trips
PM Peak Hour											
Entering	23	38	35	47	5	9	157	0	157	63	94
Exiting	<u>60</u>	<u>43</u>	<u>36</u>	<u>48</u>	<u>6</u>	<u>10</u>	<u>203</u>	<u>0</u>	<u>203</u>	<u>63</u>	<u>140</u>
Total	83	81	71	95	11	19	360	0	360	126	234
Saturday Peak Hour											
Entering	42	8	67	96	12	12	237	0	237	123	114
Exiting	<u>32</u>	<u>4</u>	<u>70</u>	<u>97</u>	<u>9</u>	<u>11</u>	<u>223</u>	<u>0</u>	<u>223</u>	<u>123</u>	<u>100</u>
Total	74	12	137	193	21	23	460	0	460	246	214

¹ ITE Land Use Code 720 - Medical Office Building (23,790 sf)

² ITE Land Use Code 565 - Day Care Center (7,300 sf)

³ ITE Land Use Code 933 - Fast-Food Restaurant without Drive-Through Window (2,500 sf)

⁴ ITE Land Use Code 937 - Coffee/Donut Shop with Drive-Through Window (2,200 sf)

⁵ ITE Land Use Code 151 - Mini-Warehouse (67,200 sf)

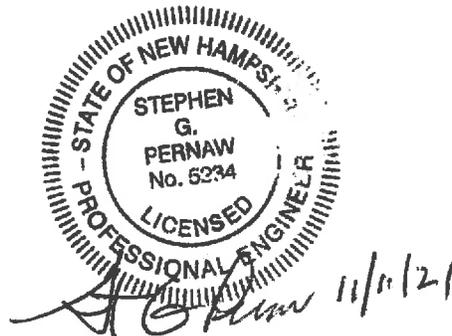
⁶ ITE Land Use Code 820 - Retail (5,040 sf)

⁷ Pass-By Trips = LUC 933 50% PM & Sat -pg 214 use LUC 934, LUC 937 89% PM & Sat-pg 216 use LUC 938, LUC 820 34% PM pg 190, 26% Sat pg 193

Findings & Conclusions

1. The trip generation analysis indicates that the current development proposal will generate approximately 360 vehicle-trips (157 arrivals, 203 departures) during the weekday PM peak hour period and approximately 460 vehicle-trips (237 arrivals, 223 departures) during the worst-case Saturday midday peak hour period. The majority (95%) are expected to travel to and from the NH107/Essex Drive/Center Street signalized intersection.
2. When compared with the "*Traffic Impact and Site Access Study*" dated September 4, 2018, the current development proposal is expected to generate -12 fewer trips during the PM peak hour period and +92 additional trips during the Saturday peak hour period.
3. Further review of the anticipated traffic increases during the Saturday midday peak hour period, revealed that the current development proposal translates into less than one additional vehicle during each traffic signal cycle. Increases of this order of magnitude will not significantly alter traffic operations or the Level of Service at the signalized study area intersection. This modest increase during the Saturday midday peak hour (and decrease during the PM peak hour) does not result in any new recommendations for the study area intersections.

Attachments



ATTACHMENTS

Trip Generation Summary

Alternative: Alternative 1

Phase:

Open Date: 11/9/2021

Project: 2163A

Analysis Date: 11/9/2021

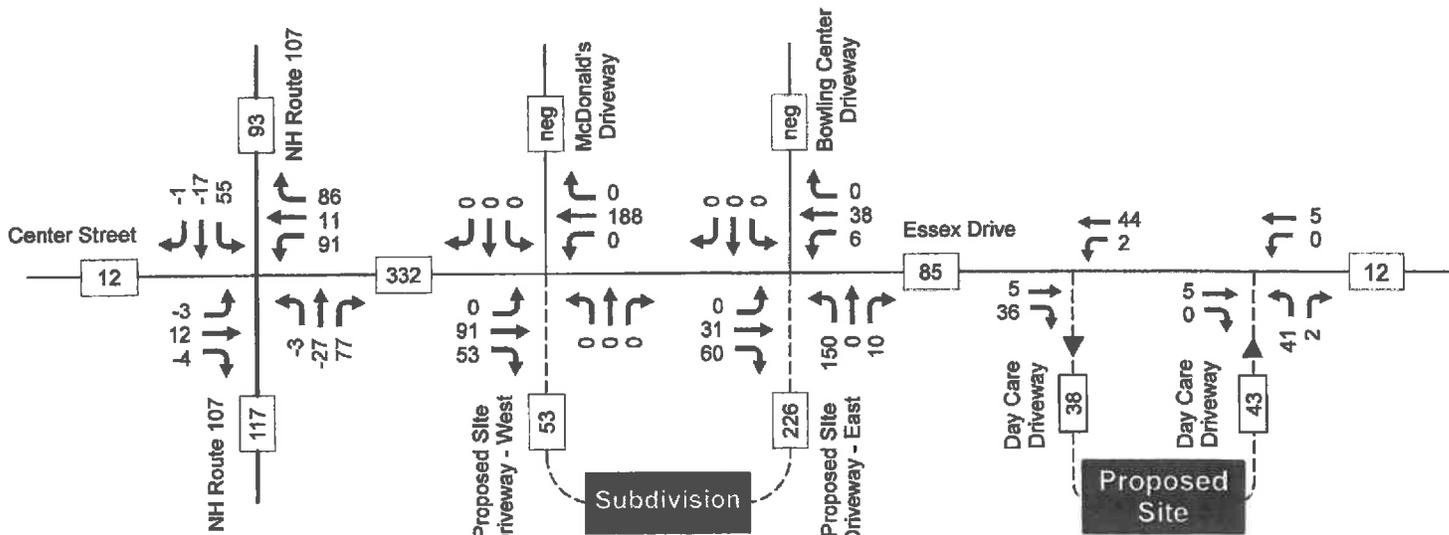
ITE	Land Use	Weekday PM Peak Hour of Adjacent Street Traffic			Saturday Peak Hour of Generator				
		*	Enter	Exit	Total	*	Enter	Exit	Total
151	MWAREHOUSE 1 67.2 1000 Sq. Ft. GFA		5	6	11		12	9	21
565	DAYCARE 1 7.3 1000 Sq. Ft. GFA		38	43	81		8	4	12
720	OFFICEMEDICAL 1 23.79 1000 Sq. Ft. GFA		23	60	83		42	32	74
820	CENTERSHOPPING 1 5.04 1000 Sq. Ft. GLA		9	10	19		12	11	23
933	FASTFOOD-REST 1 2.5 1000 Sq. Ft. GFA		38 35	35 36	71		67	70	137
937	DONUTSHOP-DRIVE 1 2.2 1000 Sq. Ft. GFA		48 47	47 48	95		97 96	96 97	193
Unadjusted Volume			159	201	360		238	222	460
Internal Capture Trips			12	12	24		0	0	0
Pass-By Trips			2	2	4		3	3	6
Volume Added to Adjacent Streets			145	187	332		235	219	454

Total Weekday PM Peak Hour of Adjacent Street Traffic Internal Capture = 7 Percent

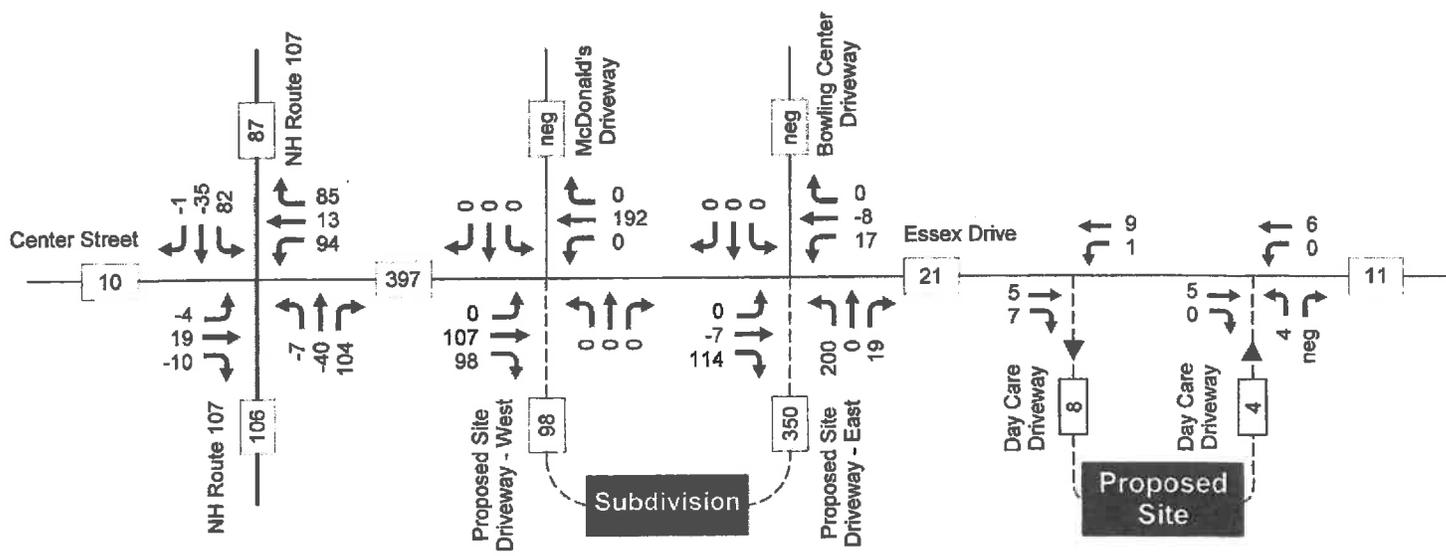
Total Saturday Peak Hour of Generator Internal Capture = 0 Percent

* - Custom rate used for selected time period.

Pernaw & Company, Inc



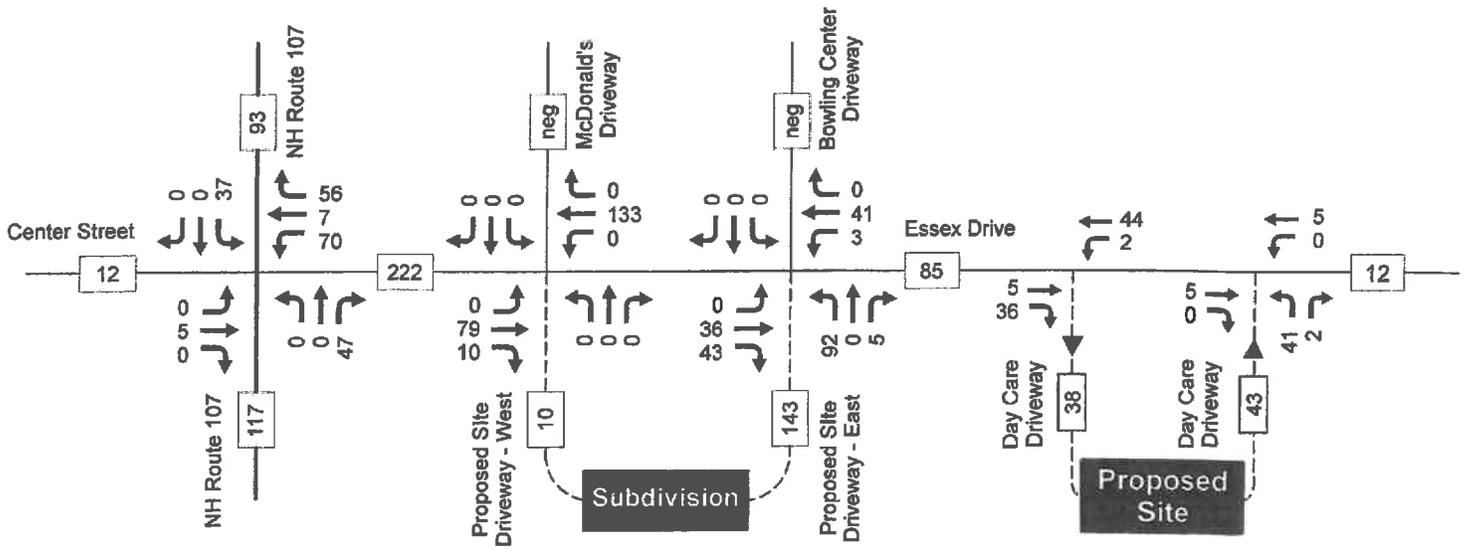
WEEKDAY PM PEAK HOUR



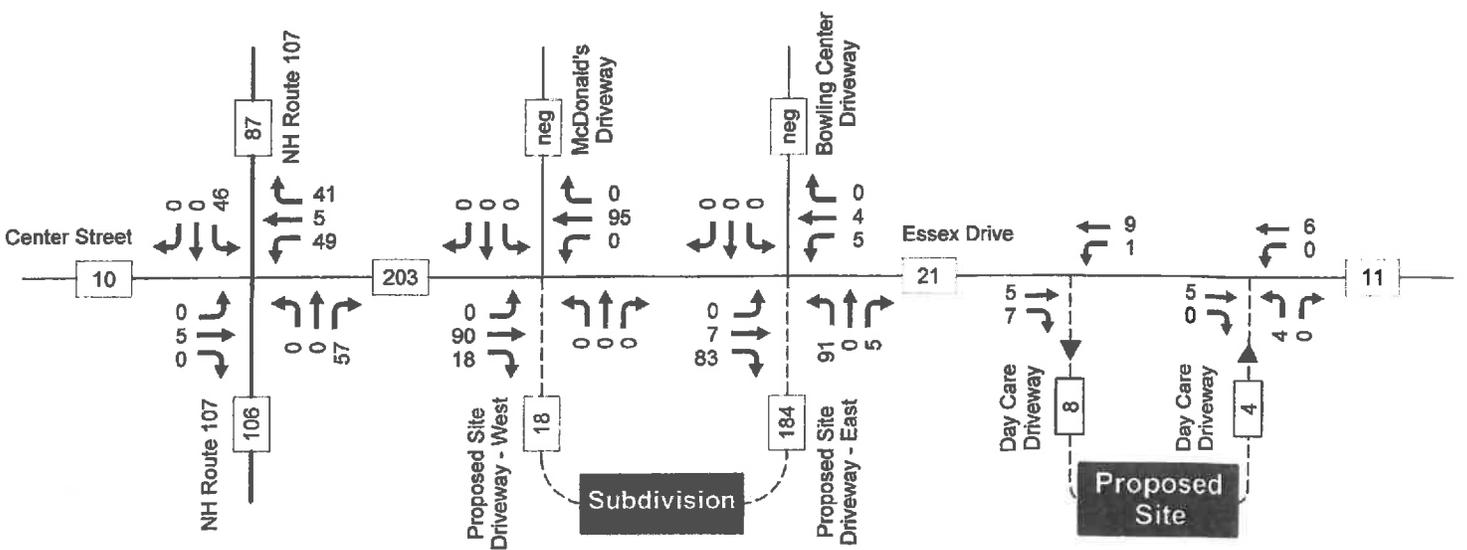
SATURDAY PEAK HOUR



Pernaw & Company, Inc



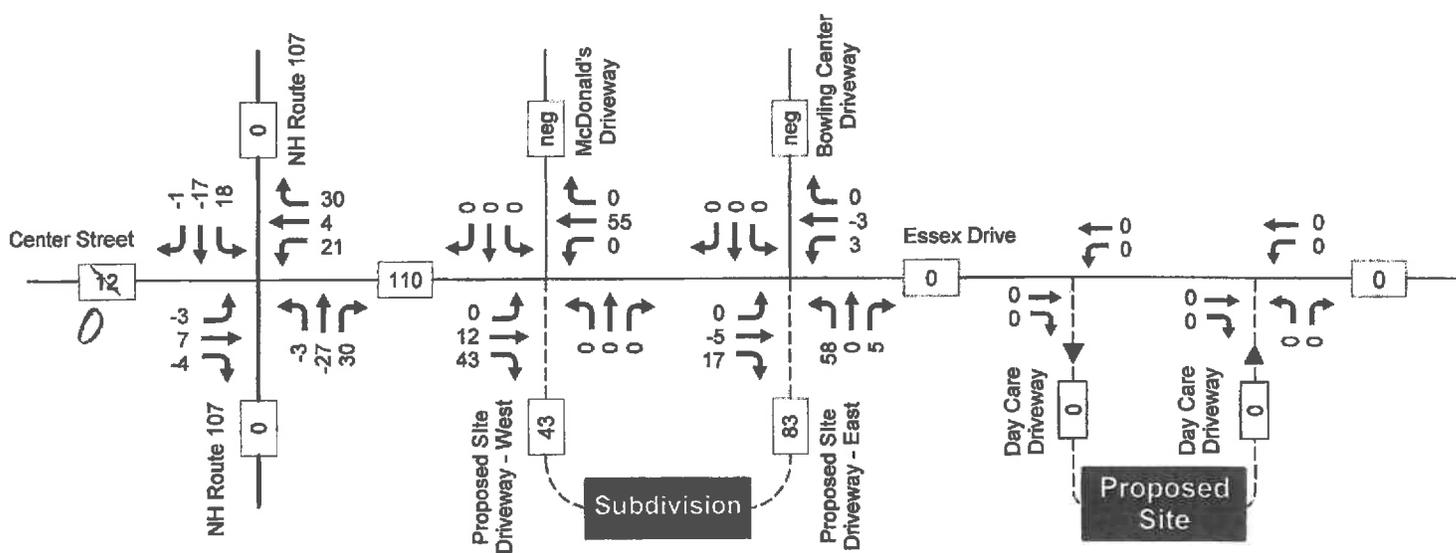
WEEKDAY PM PEAK HOUR



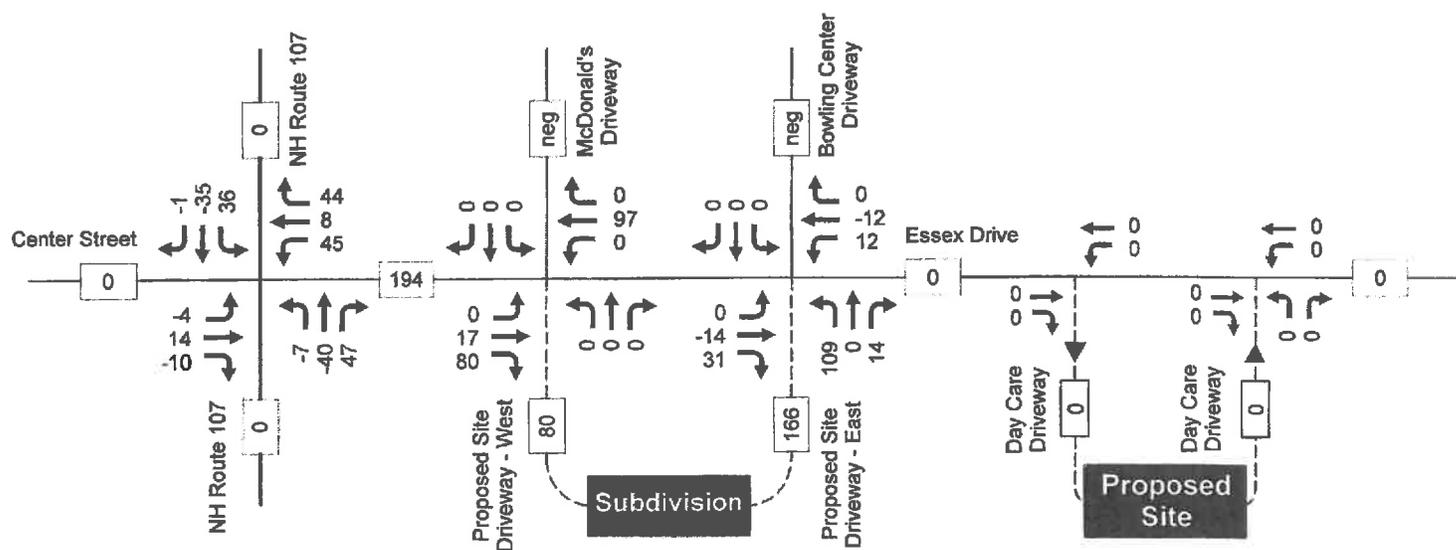
SATURDAY PEAK HOUR



Pernaw & Company, Inc

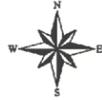


WEEKDAY PM PEAK HOUR



SATURDAY PEAK HOUR





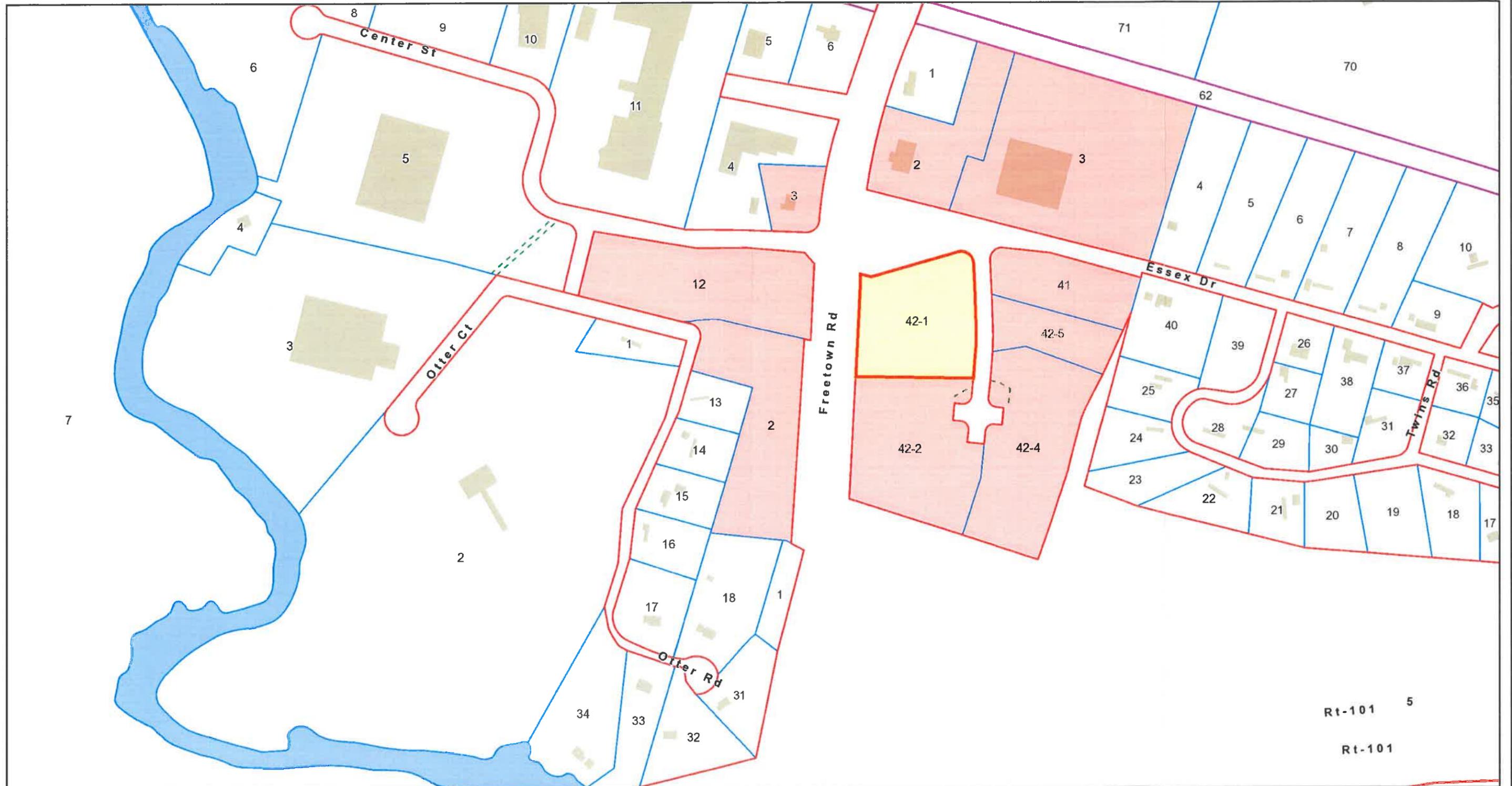
September 27, 2021

Raymond, NH

1 inch = 275 Feet



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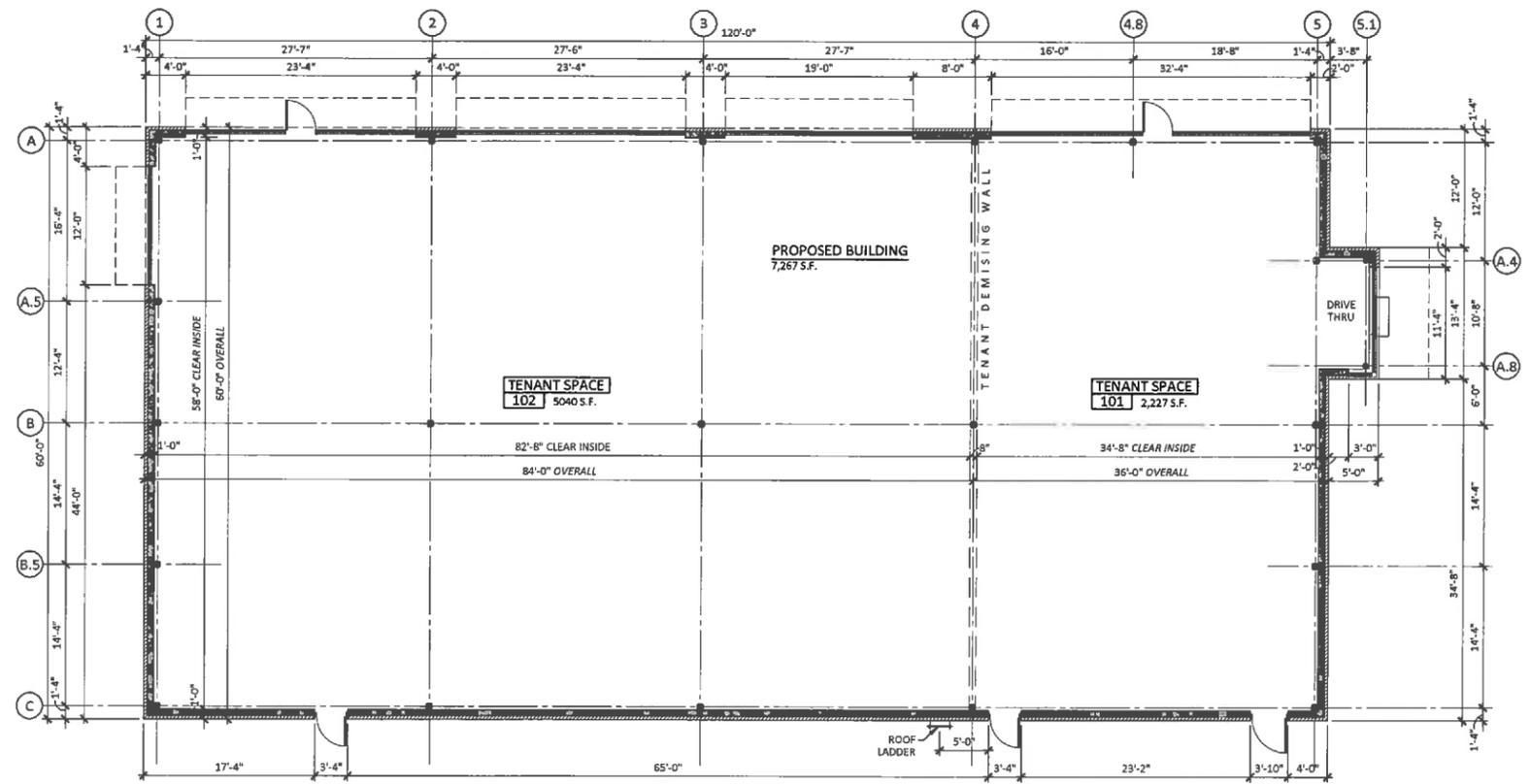


711 N. FIELDER RD.
 ARLINGTON, TX 76012
 PH: (817) 635-5696
 FAX: (817) 635-5699



PROJECT COORDINATOR
 1844 Park Avenue Wyandotte, MO 64982
 784.888.8888 O. 784.888.8884 F.

MULTI-TENANT BUILDING
 FREETOWN & ESSEX DR
 RAYMOND, NEW HAMPSHIRE



PRELIMINARY FLOOR PLAN
 SCALE: 1/8" = 1'-0"



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REVISIONS
11-08-21 ISSUED FOR REVIEW

PRELIMINARY FLOOR PLAN

SHEET NUMBER
PFP-2



711 N. FIELDER RD.
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MULTI-TENANT BUILDING
 FREETOWN & ESSEX DR
 RAYMOND, NEW HAMPSHIRE

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REVISIONS
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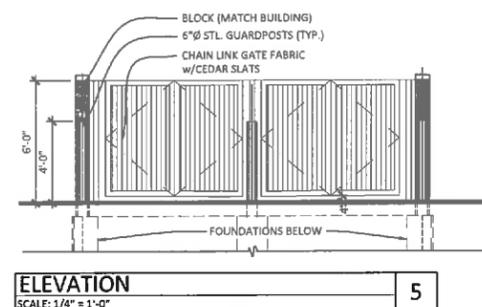
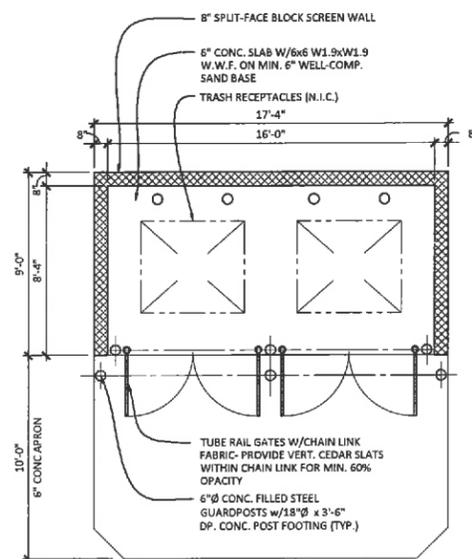
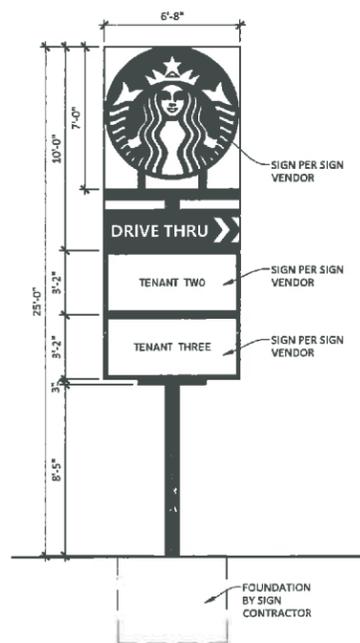
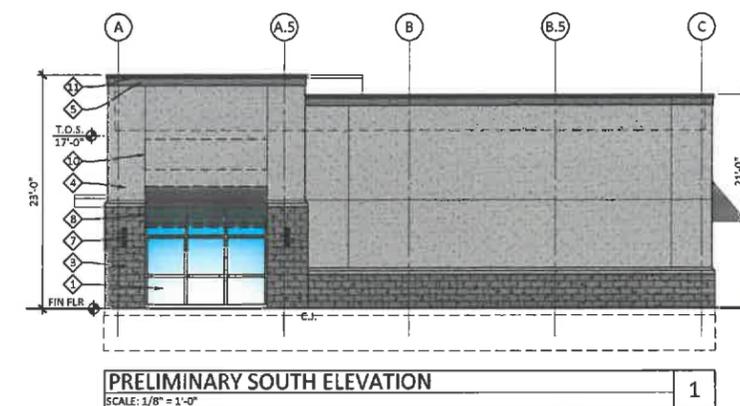
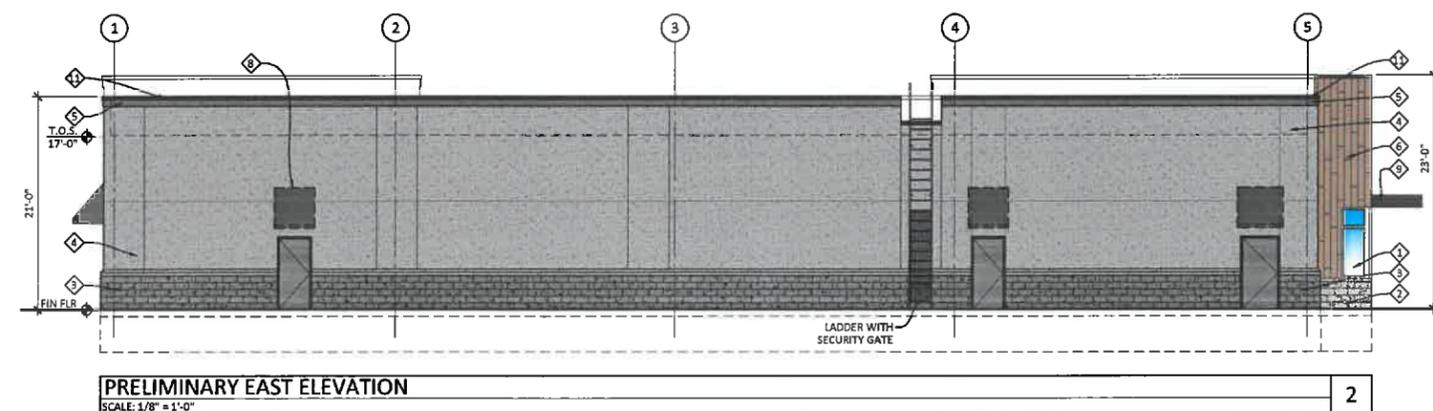
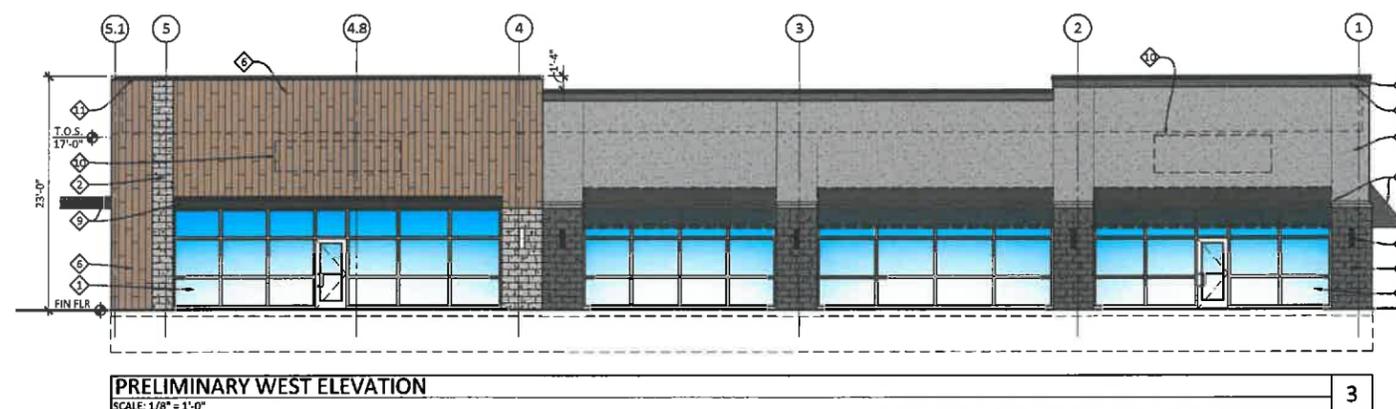
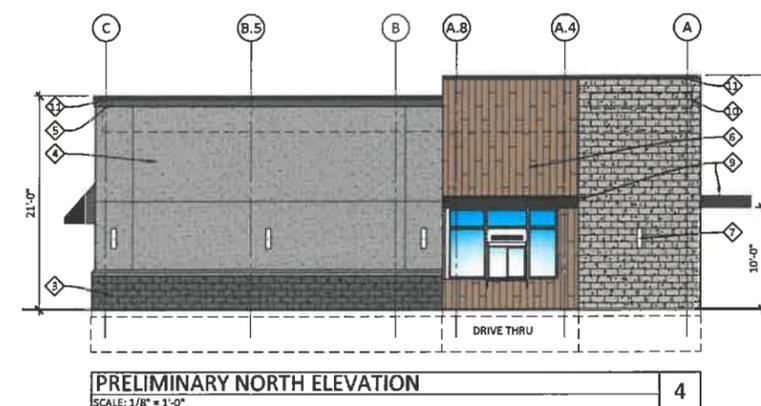
PRELIMINARY ELEVATIONS

SHEET NUMBER

PE-2

EXTERIOR FINISH KEY

	STOREFRONT THERMALLY BROKEN ALUM. FRAME W/INSULATED GLAZING MFR: TBD COLOR: CLEAR ANODIZED DENOTES SPANDREL GLAZING		WOOD SIDING MFR: IDENTITY WOOD COLOR: 1200 - PRETZEL SEALED FACE AND BACK 5/8" THICK x 7-1/4" WIDE
	SPLIT-FACE VENEER MFR: (MATCH) MUTUAL MATERIALS COLOR: (MATCH) PEWTER MISSION MORTAR: (MATCH) SM100 GRAY		LIGHTING SCONCE FIXTURE T.B.D.
	SPLIT-FACE VENEER MFR: T.B.D. COLOR: MEDIUM GRAY		ALUMINUM FRAME AWNING FABRIC ON ALUMINUM FRAME AWNING BY LANDLORD COLOR: BLACK
	EIFS MFR: DRYVIT COLOR: T.B.D. (MED. GRAY)		STEEL CANOPY COLOR: MATCH RAL7021 MATTE (MT0028 - FLAT BLACK)
	EIFS MFR: DRYVIT COLOR: T.B.D. (DK. GRAY)		SIGNAGE SIGNAGE ALLOWED-VERIFY MAX. SQ FT SIGNAGE SHALL BE SUBMITTED PER TENANT.
	EIFS MFR: DRYVIT COLOR: T.B.D. (DK. GRAY)		PREFINISHED METAL COPING MFR: FIRESTONE UNA-CLAD COLOR: CHARCOAL



PYLON SIGN
 SCALE: 1/2" = 1'-0"

PLAN
 SCALE: 1/4" = 1'-0"

ELEVATION
 SCALE: 1/4" = 1'-0"

SIGNAGE REQUIREMENTS		
ORD. SECTION	REQUIRED	PROPOSED
6.1.4.2.1	<u>WALL SIGN:</u> 84 S.F. MAX 300 FOR ALL	-
6.1.6	<u>GROUND SIGN:</u> 150 S.F. MAX	108 FT ²
6.1.6	30' MAX HEIGHT	25 FT
6.1.6	10' MIN SET BACK	10 FT

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

January 28, 2022

Raymond Planning Board
Attn. Brad Reed, Chair
4 Epping Street
Raymond, NH 03077

**RE: Conditional Use Permit Criteria For Starbucks
Silver Fox Lane, Raymond, NH
Tax Map 29-3, Lot 42-1
JBE Project No. 14163.7**

Dear Mr. Reed,

Jones & Beach Engineers, Inc. respectfully submits a Site Plan & Conditional Use Application for the above-referenced parcel on behalf of our client, Rye Harbor Realty, LLC. The intent of this application is to propose one building on the parcel with a Starbucks restaurant on the end and the rest of the building for retail space with tenant unknown at this time. There is a long drive-thru lane with a bypass around the building for the Starbucks use.

The rear of the building has a loading area, dumpster pad for Starbucks and a separate one for the retail. There will be a total of 60 parking spaces proposed with 3 handicap parking spaces. The access to the corner lot is proposed with an entrance only from Essex drive and a full access onto Silver Fox Drive. This provides circular access around the building and will allow traffic to enter across from McDonalds.

We are proposing to expand the existing wet pond located along Essex Drive to handle the stormwater from this development. We have a septic system located along the property line with the medical building. The water service will be coming in from Silver Fox Drive and the building will be sprinklered.

The property is also located within the Groundwater Protection Zone and therefore we have also requested a Conditional Use Permit. We will have more than 15% of the site impervious and therefore we trigger Section 5.2.11.2. The use is not a prohibited use and there is no storage or containment of hazardous materials onsite.

The following demonstrates that we meet the criteria for issuance of a Conditional Use Permit per the Zoning Ordinance:

- 5.2.6.2.1. Minimize through a source control plan that identifies pollution prevention measures, the release of regulated substances into stormwater:
RESPONSE: There is no storage or containment of hazardous materials onsite. Wet ponds will be used for the treatment of stormwater.
- 5.2.6.2.2. Demonstrate that recharge to groundwater will not result in violation of Ambient Groundwater Quality Standards ([Env-Ws 410.05](#)) at the property boundary;
RESPONSE: All stormwater is treated per NHDES Alteration of Terrain standards and is cleaned prior to and infiltration occurring.
- 5.2.6.2.3. Stipulate that expansion or redevelopment activities shall require an amended stormwater plan and shall not infiltrate stormwater through areas containing contaminated soils without completing a Phase I Assessment in conformance with ASTM E 1527-05, also referred to as All Appropriate Inquiry (AAI).
RESPONSE: See Note #20 on Sheet C2 of the plan. There are no known contaminated soils on site.
- 5.2.6.2.4. Animal manures, fertilizers, and compost must be stored in accordance with the [Manual of Best Management Practices for Agriculture in New Hampshire](#), NH Department of Agriculture, Markets, and Food (June 2011), and subsequent revisions.
RESPONSE: See Note #21 on Sheet C2. It is not anticipated that animal manures, fertilizers, or compost will be stored on site.
- 5.2.6.2.5. All regulated substances stored in containers with a capacity of more than 5 gallons must be stored in product-tight containers on an impervious surface designed and maintained to prevent flow to exposed soils, floor drains, and outside drains.
RESPONSE: See Note #22 on Sheet C2. It is not anticipated that regulated substances will be stored on site.
- 5.2.6.2.6. Facilities where regulated substances are stored must be secured against unauthorized entry by means of a door(s) and/or gate(s) which are locked when authorized personnel are not present and must be inspected weekly by the facility owner.
RESPONSE: See Note #23 on Sheet C2. It is not anticipated that regulated substances will be stored on site.
- 5.2.6.2.7. Outdoor storage areas for regulated substances, associated material or waste must be protected from exposure to precipitation and must be located at

least 75 feet from surface water or storm drains, wetlands, private wells and outside the sanitary protective radius of wells used by public water systems.
RESPONSE: See Note #24 on Sheet C2. It is not anticipated that regulated substances will be stored on site but these requirements have been noted.

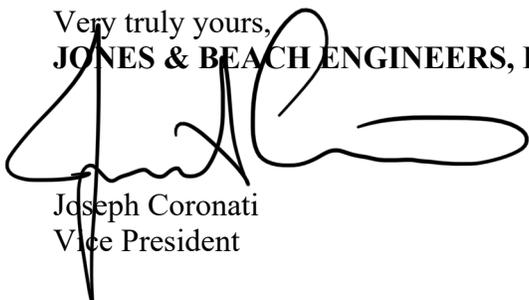
5.2.6.2.8. Secondary containment must be provided for outdoor storage of regulated substances if an aggregate of more than 275 gallons of regulated substances are stored outdoors on any particular property.
RESPONSE: See Note #25 on Sheet C2. It is not anticipated that regulated substances will be stored on site.

5.2.6.2.9. Containers in which regulated substances are stored must be clearly and visibly labeled and must be kept closed and sealed when material is not being transferred from one container to another.
RESPONSE: See Note #26 on Sheet C2. It is not anticipated that regulated substances will be stored on site.

5.2.6.2.10. Prior to any land disturbing activities, all inactive wells on the property, not in use or properly maintained at the time the plan is submitted, shall be considered abandoned and must be sealed in accordance with We 604 of the New Hampshire Water Well Board Rules.
RESPONSE: See Note #27 on Sheet C2, with the words “if any” after inactive wells because it is not believed that there are any on site currently. If there are any, they will be abandoned and sealed in accordance with all applicable laws and regulations.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.



Joseph Coronati
Vice President

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

DRAINAGE ANALYSIS SEDIMENT AND EROSION CONTROL PLAN

Proposed Multi-Unit Buiding
Tax Map 29-3 / Lot 42, Sub Lot 1
Freetown & Essex Road
Raymond, NH 03077

Prepared for:

Rye Harbor Realty, LLC
149 Epping Road, Suite 2A
Exeter, NH 03833



November 18, 2021
Revised January 12, 2022
Revised February 2, 2022
JBE Project No. 14163.7

1. EXECUTIVE SUMMARY

The Purpose of this project is to construct a multi-unit building with a fast-food restaurant on Tax Map 29-3, Lot 42 Sub Lot 1 with associated parking, drainage and utilities. The building will be serviced by town water and on-site septic. The access road for this project has been previously approved by the Raymond Planning Board and the New Hampshire Department of Environmental Services Alteration of Terrain Bureau (NH DES AoT) and is currently constructed. Two models were compiled, one for the area in its existing (pre-development) condition and a second for its proposed (post-development) condition. The analysis was conducted using the USDA SCS TR-20 method within the HydroCAD Stormwater Modeling System environment. A summary of the existing and proposed conditions peak rates of runoff is as follows:

Analysis Point	PEAK DISCHARGE COMPARISON									
	2 Year		10 Year		25 Year		50 Year		100 Year	
	Pre	Post	Pre	Post	Pre	Post	Pre	Post	Pre	Post
Analysis Point #1	0.07	0.04	0.19	0.09	0.29	0.13	0.39	0.18	0.52	0.23
Analysis Point #2	0.17	0.11	0.51	0.32	0.82	0.51	1.14	0.70	1.54	0.94
Analysis Point #3	4.32	4.32	12.32	10.70	19.59	16.22	28.01	26.03	42.45	35.97

The drainage design intent for this site is to maintain the post-development peak flow to the pre-development peak flow conditions to the extent practicable and to effectively treat stormwater from the development of this site. This has been accomplished through the use of a wet pond to maintain the peak discharge and effectively treat stormwater exiting the site.



February 9, 2022

Ms. Christina McCarthy
Raymond Community Development
4 Epping Street
Raymond, New Hampshire 03077

Subject: Site Plan & Conditional Use Application
Silver Fox Lane
Raymond, NH
Tax Map 29-3, Lot 42-1
Engineering Review

Dear Ms. McCarthy:

DuBois & King has completed a technical review of the plans and materials submitted for the above referenced project. The submitted materials consist of the following:

- Response Letter with Attachments, for Silver Fox Lane, Raymond NH, by Jones & Beach Engineers, Inc. (Tax Map 29-3, Lot 42-1), dated February 3, 2022.
- Full Size Set Plan for Silver Fox Lane, Raymond NH, by Jones & Beach Engineers, Inc. (Tax Map 29-3, Lot 42-1), consisting of 14 sheets, dated November 18, 2021, revised on February 3, 2022.
- Drainage Report for Silver Fox Lane, Raymond NH, by Jones & Beach Engineers, Inc. (Tax Map 29-3, Lot 42-1), dated November 18, 2021, revised on February 2, 2022.

The following were comments noted during the engineering review:

1. Sheet 3 of 13. Drawing No. C2. Site Plan.

One of the proposed accessible spaces does not have a corresponding sign. We recommend that the applicant revise the plan to provide a sign for the accessible space.

2. *Repeat Comment.* The Site Plan Application includes an architectural drawing noting sconce lighting. We recommend that the applicant submit additional design details for the proposed lighting to comply with the Town of Raymond's Outdoor Lighting Standards which requires that lighting to be full cut-off or shielded type, not allowing any upward distribution of light.

If you have any questions or comments, please do not hesitate to contact us.

Regards,

DuBOIS & KING, Inc.

Ross L Tsantoulis, PE
Project Manager

Memo to: Town of Raymond Technical Review Committee

Subject: Review of Site Plan Application 2021-021 Starbucks Coffee and Retail Store (Tax Map 29-3, Lot 42-1)

From: Madeleine DiIonno, Regional Planner, Rockingham Planning Commission

Date: December 17, 2021

Rockingham Planning Commission has received and reviewed a Site Plan application submitted November 18, 2021, from Jones and Beach Engineers on behalf of Rye Harbor Realty, LLC. The applicant is proposing to construct one building on Silver Fox Lane (Zone C1) with a Starbuck's restaurant and retail space. The proposed use is located within the Groundwater Conservation Overlay District and exceeds the maximum 15% impervious cover; therefore, a conditional use permit has also been submitted. My specific comments are as follows:

1. It is recommended a narrative be provided addressing Performance Standards in the Ground Water Conservation District (ZO 5.2.6.2) as the Planning Board will review these criteria with the conditional use permit application.
2. Certification that the proposed use does not violate the rules and regulations of chapter 485-C, Groundwater Protection Act, regarding groundwater should be indicated on the final plan (SPR 5.06)
3. Building height should be indicated on the plan (SPR 5.02.07).
4. Hours of operation should be clarified and indicated on the final plan.

Memo

To: Planning Board
From: Christina McCarthy, TRC
cc: Starbuck's
Date: 01/25/2021
Re: Advisory comments from TRC

On January 25, 2022 the TRC met and had their final meeting with Joseph Coronati of Jones & Beach for a Starbuck's on Silver Fox Lane. The TRC voted unanimously that Application 2021-021 Starbuck's is ready to move forward to the Planning Board with the following advisory comments:

1. Offsite improvements-stripe left turn and straight through arrows for the left lane and in the right lane a right arrow on Essex Road.
2. Egress for construction of Starbucks from Essex onto site is entrance only and to exit out onto Silverfox Lane for control of dirt/mud from the construction site.
3. Traffic Comments- Updated traffic letter from Steve Pernaw.
4. Before occupancy permit is given to either Domino's or Starbucks(whichever is first) the topcoat needs to go down on Silver Fox Lane, applicant needs to adjust manhole/catch basin rim elevations to be flush with pavement.

Technical Review Committee Minutes
January 25, 2022
Safety Complex, Torrent Hall, 1 Scribner Rd
1:00 pm

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Present –

TRC Board Members:

- Christina McCarthy – Planning Technician
- Michael Labell – Police Chief
- Dave Frederickson – DPW Director
- Paul Hammond – Fire Chief/ Interim TM

Support Staff- Glenn Coppelman – Planner

- Maddie Dilonno-Planner
- Ross Tsantoulis- Dubois & King

Absent – open – Building Inspector

Public- Tara Campbell

Meeting opened at 1:00

Christina McCarthy 0:02

Alright, so I'm going to open the January 25 2022 TRC meeting at one o'clock. We're here for application 2021 21. A site plan and conditional use application is being submitted by Joseph Coronati of Jones Beach engineers incorporated on behalf of Rye Harbor Realty LLC. they're proposing a Starbucks restaurant on the end and the rest of the building for retail space with tenant unknown at this time with associated parking and utilities, the property is represented as Raymond tax map 29-3 lot 42-1 and located at Silverfox Lane. Did you get the newest review, I sent that out first thing this morning? Okay. So, if you just want to, I'll turn it over to you to go ahead and start.

Joseph Coronati 0:57

Sure. So, my name is Joe Coronati of Jones & Beach Engineers and with me is Erica Eames.

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1:00 pm

34

35 Joseph Coronati 1:11

36 So, this is the fifth and final lot of the Essex Commons subdivision. At the corner of 107, Freetown Road
37 and Essex, those in the corner lot. The proposal is to build a one building with at least two tenants that
38 could be a third depending on how the retail space gets split up there could be potentially two tenants
39 in there, it's currently the setup for one the end unit is a Starbucks they would have a drive thru,
40 parking we've laid out all the parking numbers calculations separately so we have the Starbucks
41 calculations then we have the retail space calculations for the parking demand. The access to the site
42 we've been looking we have it as an entrance only from Essex coming in, is like a right turn in style, exit
43 entrance coming from your light and then the exit will be out on the Silver Fox. What's the obviously the
44 exiting vehicles are there from the intersection as they're turning left to go back to the intersection
45 which is good. We have circulation around the building for the drive thru and a bypass lane. We also
46 have loading in the rear of the building. We have two dumpsters one for the Starbucks use they require
47 their own dedicated dumpster, double dumpster you know, trash and then recycling when the retail
48 store would have their own dumpster pad also for trash and recycling. The drainage of the site is sort of
49 a, kind of a master planned drainage system where all the lots are connected, interconnected via pond
50 pipes. So, we have 7 forebays each lot has its own treatment and detention. This lot is no different. So
51 basically, we're expanding the small sort of depression that's on the lot that was built when the roadway
52 was built. or expanding that into a full-fledged wet pond. Like the one on the other side of the street,
53 other side of Silverfox Lane. That'll be a AOT alteration of terrain for viewing approved ponds so as to
54 meet their requirements for stormwater treatment sizing. Detention. So that's going to be where
55 basically all the stormwater is handled from this proposed development all handled in that pond and
56 then it's connected under Silverfox Lane which then connects into the piping system that is already
57 established in Essex. We also take the water from Freetown Road DOT's Pond that's been there for ages,
58 which many people may not have ever realized that's actually a detention pond. Even though it's you
59 know, it's always been a little circular, open water pond but it actually has an outlet structure and DOT
60 easements for all of it going through our site. So, we should maintain their flowage rights as well. Which
61 we do so there, though that information is incorporated in the drainage calcs utilities are pretty, pretty
62 straightforward. I would say we have, when we built, when Silverfox was built, everything was stubbed
63 to the lot line out of line of the road, so everybody got a six-inch water service, not knowing who the
64 users were going to be. We weren't sure who was going to need what for fire protection. So, every lot
65 got a six-inch water main basically stubbed to it, the lot has that as well. The underground electrics
66 already in we have three phase power to the lot lines. So basically, we just had to figure out how to get
67 that from the road to the building and then we have propane for the heating systems and then we have
68 a septic, the septic location is a, basically a pump, pumping up towards the Exeter hospital lot line. We
69 have pretreatment for the septic system for a couple of reasons. One is to shrink the leach field size
70 down, so it actually fits in the space we have allocated for it the other is the

71

72

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73

74 Joseph Coronati 0:12

75 So, this building, I think you guys know this, but this building will have sprinklers. Obviously, all your
76 buildings have sprinklers commercial. So, this one is no exception. The signage for the building. So, we
77 have a multi-tenant sign proposed at the corner of, of the two streets. And you may recall one of the
78 signs looks, one of the signs will be for Domino's just because they don't really have any access to street
79 view signage. And there they are foregoing there. pylon sign for their lot. So, they'll have building
80 signage, and then they would have they would take one of those lower bays of the multi-tenant sign
81 that's in the architectural assignment details or in the architectural plans?

82

83 Joseph Coronati 1:18

84 To 202 So there's two sets of what did you guys all get? I guess for your architectural reflections. You get
85 like a 10-page set and a two-page set. There was we had I think we submitted. I think we emailed like a
86 10–12-page plan set after we made the submission because we received it after we made the last
87 submission, but I didn't know if anybody got

88

89 Christina McCarthy 1:54

90 The multi-tenant shell building.

91

92 Joseph Coronati 1:56

93 Yeah, it's a previous plan we submitted for just two pages, one set of elevations one thing that is the
94 same old the two-page set in this 10-page set was sheet a- 202. That shows the signage, the dumpster
95 detail. That's why those are not in our plans.

96

97 Glenn Copleman 2:36

98 a- 202 Yes, yeah.

99

100 Joseph Coronati 2:42

101 Okay we can certainly mail over hard copies if you need them .

102

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1:00 pm

103 Christina McCarthy 2:50

104 No, I think we have because the second submittal you included the this for both sets.

105

106 Joseph Coronati 3:19

107 I think is actually a lot more information than we normally get at this stage for building design work.
108 And so, our proposed building matches the architectural plans on footprint doorways. And then lighting
109 was we have a lighting consultant that we work with on all our projects. So, he did the lighting design as
110 we always have them do determines where the fall paths are going to be. But the one peculiar thing
111 with this is that we have Starbucks has their own lighting layout that they require for their front. And
112 our guy didn't match the Starbucks lighting, because the A didn't have it, but B doesn't sell those lights.
113 Anyways. So, we've asked the architect to put together a new lighting schematic of what Starbucks is for
114 requirements that they need on their building. So, you'll have a lighting plan that matches the elevation
115 plan with the light shown and is the one that will be built it's I don't know exactly what it's going to be
116 basically it's probably more gooseneck lighting and it's low comply with they'll have to comply with your
117 regulations. But unfortunately, I don't have that yet. Talk to the architect today. He's from Detroit. So
118 not used to some of the things that we're accustomed to doing around out here but so he said he was
119 going to get on it and get their lighting guy you know, produced that plan that matches Starbucks
120 requirements. Landscaping, we did provide landscaping plans and we have details of everything. That's
121 pretty much all I have.

122

123 Joseph Coronati 5:38

124 We can go through Ross's comments, if you want to, or you can go around.

125

126 Christina McCarthy 6:09

127 We're going to do the January 13, or the January 24.

128

129 Joseph Coronati 6:13

130 I was going to go right to the January 24.

131

132 Christina McCarthy 6:15

133 So, everybody has a copy of those? Just emailed out, first this morning.

Technical Review Committee Minutes
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1:00 pm

134

135 Joseph Coronati 6:39

136 By the way, you want to be January 24.

137

138 Christina McCarthy 6:42

139 Yeah.

140

141 Joseph Coronati 6:44

142 So, there's, about seven or eight things. And these did come up all in the previous reviews. The one
143 previous review. The first comment 1-a. That talks about the snow storage and tree locations. We did
144 have snow storage shown the slope feeding into the wet pond it is shown above the pond water level at
145 those grades. But we can definitely modify that we got quite a bit of space to put snow around the site.

146

147 Dave Frederickson 7:47

148 That melts, there should be some treatment involved in that other than going to the pond, correct?

149

150 Ross Tsantoulis 7:52

151 Well, the pond serves as stormwater treatment, that's acceptable. But I think where it was showing it
152 was within, they could potentially, you know, if you get a unique freeze thaw condition, it could
153 potentially eat into your available storage for either too short outside of it will be I think in generally
154 speaking, I guess Joe, this is a question. Think our other comment was inspection maintenance plan. You
155 know if the tenant plans on doing their own street sweeping on site?

156

157 Joseph Coronati 8:31

158 Yeah, they'd be sorry, not the tenant, but the owner. So how this works is there's a company called Alrig
159 Yeah, Al R IG. They're out of Detroit. Also, and they are big development. National developer. They do
160 projects all over the country, maybe outside the country too. So they own all their buildings they rent
161 and they manage so there'll be the owner of the building the owner of the site, and they'll have you
162 know, the least Starbucks and the least whoever goes into retail so there'll be in charge of all the
163 maintenance and everything that won't be the individual tenants and I assume that they sell it in the
164 future it would be the same way if they were to question for me I guess somewhat is my curiosity if they

Technical Review Committee Minutes
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165 were to ever want to condo the building so it's two different owners. Does the town have a planning
166 board process for condo conversions they have to come to the?

167

168 Glenn Copleman 9:41

169 By state RSA that would be considered a subdivision. Yeah, actually. Yeah. But yes.

170

171 Joseph Coronati 9:48

172 Some towns don't have Dover Exeter. Really? No, there's no city process Portsmouth. Can you just go
173 right to the registry record it? So, we do that quite a bit and they just make us sort of note that this was
174 not a subdivision.

175

176 Glenn Copleman 10:06

177 But the states consider any condominium a subdivision.

178

179 Joseph Coronati 10:14

180 But okay, so that's fine. So, if we had it down the road if they ever sold and wanted a condo it that we
181 have to come back to the town anyways. We do have inspection maintenance manual, but we did it for
182 the AOT. But we can, so we can submit that the second one talks about handicapped parking spaces,
183 sheet c2 shows the handicap parking spaces and we'll move those so they're in front of the handicapped
184 spaces themselves. Number two, that talks specifically about the lighting that I sort of already went over
185 we will we will provide an amended lighting plan from the architect's consultant. Then 3-a this gets into
186 the fun stuff. This is drainage report related items. We will include the extreme precipitation tables. That
187 was a B is we will be Mike Keravan's looking at the inverts just make sure they all match I'm not sure
188 why they don't but the....

189

190 Ross Tsantoulis 11:46

191 Catch basins 1, 4, and 5.

192

193 Joseph Coronati 11:49

194 1, 4, and 5. I wasn't sure he was just like some of them are a little tricky because like the D O T culvert
195 we're extending. So, I was wondering if that was one of the issues because we're extending it don't

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196 know what they used for the inverts. The 3-c talks about the 100-year storm event on the emergency
197 spillway. Yeah, we do have an emergency spillway. We kind of have two actually so we have a riprap
198 one that's in the berm that there's a swale along Essex that doesn't fit into the wet pond. It's like it goes
199 down from Essex, then it goes back up and then down to our pond. So, we have an emergency spillway
200 between those in that berm. We also we don't really call it out is one, but we also really have the top to
201 that outlet structure, we do a four-by-four open structure with rebar. So, the structure itself ever gets
202 blocked, the water can flow up and then flow over that top and still use the same pipe. But obviously a
203 pipe becomes blocked. And that wouldn't work. So that's why we have the other one on the other side.
204 I don't think it's called out it's not labeled on the plan. Could very well be why.

205

206 Ross Tsantoulis 13:39

207 Having 100-year printout for the modeling summary will bring clarity to how that performs.

208

209 Joseph Coronati 13:45

210 And normally we put them right above just a smidge above the 50-year elevation. But yeah, we can take
211 a look at that. 3d talks about test pits Do you have the, you just don't have the test pit info?

212

213 Ross Tsantoulis 14:08

214 Correct. I didn't see it as part of the submission. Alright.

215

216 Joseph Coronati 14:11

217 We do have the test pit page in that we can get you that info. And then the last one was the inspection
218 and maintenance plan for the stormwater. Which will be, the other thing I mentioned I guess is that we
219 have, we are in your Groundwater Protection. So, this does require a conditional use permit which was
220 applied for, and we've applied for the waiver that we've applied for bunch of times for the landscape
221 architect Those are part of the application as well. That's all I have.

222

223 Dave Frederickson 15:13

224 We'll start with Paul, I guess.

225

226 Paul Hammond 15:18

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227 I do have a couple of questions. Well, number one, you choose the address or location. So, the lot one,
228 you're going to need it eventually so you might as well have it now. That way we can brand it if you will.
229 I know we've talked about this in the past when the project first came to fruition. The all of the drainage
230 basically drains into the pond beside the daycare. Is that a correct assumption?

231

232 Joseph Coronati 15:58

233 That yes and no. I'd say no is more of an answer.

234

235 Paul Hammond 16:05

236 Okay where does all that drain to? I know where it drains to.

237

238 Joseph Coronati 16:12

239 So, this pond on this side of the street, on this side of Silverfox, drains into a drain manhole in Silver Fox
240 Drive, and outlets outside of that pond.

241

242 Paul Hammond 16:30

243 Goes under Silverfox Lane. Yeah, to the culvert that goes under Essex, yes, into a catch basin in the
244 bowling alley. As all of that, and I know we discussed this, but I just want to reiterate on his all of that
245 structure, underground structure in the bowling alley been sized to accommodate all of this new water
246 that's heading in that direction.

247

248 Joseph Coronati 17:01

249 Right. So how it basically works is that we have we analyze the culvert that's on our side of the property.
250 When there was nothing built here, it was all woods. So that dictates that sort of sense, the flow that
251 we're allowed to discharge from our site, going forward with all with all that being woods. And I know,
252 obviously, you guys know better than me, but there used to be buildings on it Silverfox diner and all that
253 stuff. So, we didn't even know, we accounted for what we could see, we couldn't see most of the
254 asphalt, you know, back then I don't remember what the vegetation was like crawling out from we
255 didn't know where the asphalt. And then so that sort of sets the number, let's say the number is 5 CFS,
256 cubic feet per second going into that 18-inch pipe from this property, we can't increase that with all this
257 development. And that's been getting checked very meticulously by your town engineer, but also the

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258 AOT has made us apply for every single site in the development and we have basically a master drainage
259 report of all the sites because you can't just look at individually.

260

261 Paul Hammond 18:18

262 So, if I'm understanding this correctly, all of this created, now impervious soil. All that runoff cannot
263 exceed those five cubic feet per second.

264

265 Joseph Coronati 18:30

266 And that's not the correct number. I'm just saying that's okay. Yeah, but right. Yes, exactly.

267

268 Paul Hammond 18:35

269 So that's all been calculated. And I guess my question or concern is if we look at the other side of the
270 street where it goes into the catch basin and the size of the culvert that's over there handling all the
271 runoff from that side of the street in the bowling alley parking lot to see if that one culvert discharges
272 out towards the railroad bed is going to handle all that.

273

274 Joseph Coronati 18:58

275 The certificate, how it works is, no you don't keep modeling all downstream. Sometimes that could go
276 on forever.

277

278 Paul Hammond 19:07

279 I don't care once it gets outside of the culvert. I just don't want to backup water inside of them.
280 Business across the street in the parking lot.

281

282 Joseph Coronati 19:15

283 But as long as we have reduction at the entrance, then we shouldn't have an issue anywhere else in the
284 system.

285

286 Paul Hammond 19:22

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287 Okay, yep.

288

289 Joseph Coronati 19:22

290 Now if the system was undersized and if the pipes are crushed, we don't know we didn't have
291 permission to go investigating their system we did locate if you look at the sheet c3 we do have some of
292 that system shown in the pipes get larger.

293

294 Paul Hammond 19:38

295 I don't know what I have c3 this didn't seem okay.

296

297 Joseph Coronati 19:42

298 Yeah. Yeah. It'd be in the Jones and Beach plans.

299

300 Paul Hammond 19:46

301 I probably have seen that in your previous proposal.

302

303 Joseph Coronati 19:50

304 Yeah. And so, the good thing is looking at it is that the pipes are large, and we have an 18 inch at our
305 side of the street, but they become a 30 inch under the bowling alleys.

306

307 Paul Hammond 20:05

308 Okay, that was my question.

309

310 Erica 20:06

311 So, they're getting larger? And actually, my question, right?

312

313 Paul Hammond 20:09

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314 Yeah, I feel better if knowing that answer.

315

316 Joseph Coronati 20:11

317 And I've never seen I don't know if you know, some of the times it's better to see it in your own eyes
318 over experience years, but I've never seen that parking lot back up.

319

320 Paul Hammond 20:20

321 No but we have just created a new road and all that impervious surface and we're going to create more
322 when the hospital facility goes in. And basically, that whole area that was once able to absorb water is
323 not going to be recovering. Right. So, I just didn't want to create an issue there, obviously.

324

325 Joseph Coronati 20:40

326 Right. And we don't either obviously.

327

328 Paul Hammond 20:42

329 And now knowing there's that 30-inch pipe could feel better, right?

330

331 Joseph Coronati 20:47

332 And we have a, you know, as you probably see, or will be seeing we have a lot of detention ponds. You
333 look at this site, when it's all done, oh, you're going to look like buildings, wet ponds all over the place.

334

335 Paul Hammond 21:01

336 And you also mentioned switching gears on access, only access off of Essex, into the entrance only.

337

338 Paul Hammond 21:13

339 And as I recall, that was 20 foot wide. I think we discussed that.

340

341 Joseph Coronati 21:16

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342 And it's kind of a messed-up shape because it's not. It's not just one number. It tapers down to 12 feet.
343 But we made the entrance big enough that we could take in, like delivery trucks.

344

345 Paul Hammond 21:33

346 Doesn't take into consideration the fire lane.

347

348 Joseph Coronati 21:36

349 Well, it's only the entrance only one we still have a full access on Silverfox. And then once we get into
350 the parking lot, we have the space.

351

352 Paul Hammond 21:47

353 Yep. All right.

354

355 Glenn Copleman 21:51

356 The one on Silverfox is both in and out.

357

358 Joseph Coronati 21:54

359 Yes.

360

361 Paul Hammond 21:55

362 What is the and I'm sure you looked at this. And I'm kind of out of my realm here. But from that
363 intersection of Freetown Road and Essex to that entrance. What is the distance of it? I mean, I'm not
364 sure when I come around the corner and abruptly turning into, I'm sure there's some kind of

365

366 Joseph Coronati 22:18

367 For our entrance to the know, from there to the intersection. It's the same but the other way to think of
368 it is the same entrance as the old Silverfox. So, it's that paved. You know there's still that paved entrance
369 there. So about 80 feet to this. We're actually reusing that for a couple of reasons. One, it's there. B It's
370 already got a culvert in too.

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371

372 Paul Hammond 22:48

373 That you're not going to replace it's 40 years old. Right.

374

375 Joseph Coronati 22:53

376 We could look at that, but it's an RCP. It's a concrete culvert. It's a DOT.

377

378 Joseph Coronati 23:01

379 I hope it's like that it's 40 years old.

380

381 Joseph Coronati 23:07

382 I could look, I was thinking at first it was a DOT culvert but that's, it's our entrance culvert.

383

384 Paul Hammond 23:12

385 But regardless, I don't know what's in there. If it was concrete, I have no idea but I'm not familiar with
386 the longevity of culverts.

387

388 Paul Hammond 23:24

389 Am I stealing your thunder I'm about done though?

390

391 Joseph Coronati 23:33

392 Paul did you say the address was going to be 1 Silverfox drive. Yes.

393

394 Ross Tsantoulis 23:38

395 Oh, can we clarify drive versus lane? Yeah, I was just asking the same question. Because the plans show
396 drive and then the application says lane.

397

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398 Paul Hammond 23:48

399 That is going to matter on the addresses and...

400

401 Joseph Coronati 23:53

402 Drive I believe them in that already got it as Dr.

403

404 Paul Hammond 23:58

405 I had lane here so it's going to be Dr. The other companies already know that that are in there. 603.

406

407 Joseph Coronati 24:08

408 Is there a street sign on the road? Not yet.

409

410 Paul Hammond 24:17

411 The Postal Service's there's going to be very interested, as well. As you know, 911 obviously.

412

413 Joseph Coronati 24:26

414 Probably you guys more than anybody because I doubt there.

415

416 Paul Hammond 24:29

417 Well ,I give this information to them. So, I need to have it accurate to let them know.

418

419 Glenn Copleman 24:33

420 Is the post office going to require a kiosk box at the end of the road?

421

422 Paul Hammond 24:38

423 No idea. They're there.

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424

425 Glenn Copleman 24:41

426 They're starting to force that issue now.

427

428 Paul Hammond 24:42

429 They would need to be approached. I don't know what businesses I know with residences. They've been
430 doing that, but I don't know about businesses you may need to while you will need to check with her
431 name's Jillian on a first name basis whether we post office or we just chatted to her before I came here
432 but she would have that information. I don't know.

433

434 Tara Campbell 25:07

435 When Domino's did their application, it was Silverfox Lane.

436

437 Paul Hammond 25:10

438 Lane okay.

439

440 Tara Campbell 25:13

441 That's what it says on the application from the 30th of November.

442

443 Mike Labell 25:17

444 I've always heard it referred to as a lane.

445

446 Paul Hammond 25:19

447 So, we're kind of leaning towards lane here?

448

449 Glenn Copleman 25:24

450 It will be interesting to know what the other applicants were most of the storage place

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451

452 Dave Frederickson 25:31

453 Is the daycare Essex, isn't it? It's not Silverfox.

454

455 Paul Hammond 25:35

456 The only other one would be the hospital. The hospital and the storage. Yeah.

457

458 Joseph Coronati 25:41

459 Storage open, yet?

460

461 Paul Hammond 25:42

462 They got a c of o last week.

463

464 Erica 25:45

465 On the big, the big building or the little ones.

466

467 Joseph Coronati 25:52

468 Wonder how the do mailing, can't imagine anyone's mailing anything to them. The storage place

469 because they probably don't want people mailing them stuff. They probably want it all digitally.

470

471 Erica 26:04

472 You have Silverfox 603 storage Raymond, six Silverfox Lane.

473

474 Paul Hammond 26:14

475 And the hospital will be made aware of that. They'll probably be one of the few places getting mail.

476

477 Joseph Coronati 26:21

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478 They were the only one that I recall saying that they wanted mailboxes.

479

480 Dave Frederickson 26:26

481 For packages. Who owns the road?

482

483 Christina McCarthy 26:30

484 The everybody who has a building on the road.

485

486 Dave Frederickson 26:35

487 So, it an association Yes.

488

489 Glenn Copleman 26:49

490 Are there association Doc's that have been provided?

491

492 Dave Frederickson 26:53

493 Not yet. No.

494

495 Paul Hammond 26:55

496 We should actually have signage down there now that is occupying right now.

497

498 Dave Frederickson 27:03

499 We need a maintenance, Association.

500

501 Paul Hammond 27:08

502 Stop sign, street sign.

503

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504 Dave Frederickson 27:10

505 Stop bar.

506

507 Joseph Coronati 27:21

508 We'll go back by their check I've been I've been in there 30 times, but I've never noticed which maybe
509 means it's not there.

510

511 Paul Hammond 0:00

512 Yeah, they may all want to get together because I mean, basically you're talking a white line with two
513 arrows to refresh that intersection there.

514

515 Joseph Coronati 0:09

516 Right, Because the center lines probably good, I don't know what the stop bar condition is.

517

518 Dave Frederickson 0:30

519 We feel as though 10 cars is adequate that that's not going to wrap around Essex Drive.

520

521 Joseph Coronati 0:35

522 We do because they...

523

524 Dave Frederickson 0:39

525 Just know what Dunkin Donuts looks like.

526

527 Joseph Coronati 0:41

528 Right? And hopefully this helps you know actually relieves some of Dunkin Donuts pressure. But good,
529 worse come to worse, they could wrap all the way around the front. You know, so we could still
530 probably fit another you know, another 10 to 15 cars.

531

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532 Dave Frederickson 1:02

533 On site or Silverfox?

534

535 Joseph Coronati 1:05

536 On our site before they get out to Essex, so we were not anticipating that much in Starbucks, drive thru
537 lanes aren't typically as bad as Dunkin Donuts. So yeah, we do have lots of space, that we're not showing
538 is stacking if we need it.

539

540 Dave Frederickson 1:32

541 Yeah, I guess my statement would be I would rather have that queue on Silverfox. Then coming through
542 that one-way entrance. Right. Okay.

543

544 Joseph Coronati 1:42

545 The only thing is we won't know. I mean, I think the majority of people will be coming in that one way.
546 People coming from I mean, unless someone's like kind of smart realizes that they can work their way
547 into the drive thru lane from Silverfox. But I think a lot of the people coming from that side will either be
548 people leaving the...

549

550 Joseph Coronati 1:44

551 Well, does that pose a question of onsite traffic control that to force them to come in one of those
552 entrances?

553

554 Joseph Coronati 2:13

555 Well, when sort of is because the only cars that can come in from Essex have to take a right turn into
556 that connection, the way we designed it. That was one of Ross's concerns was that he didn't want
557 people coming from East going past Silverfox lane, and then taking a left into the one way you wanted to
558 make that. So, you couldn't do that maneuver. So, if you were coming from that direction, you would
559 have to go down Silverfox to get in. And now you guys know what's down that way. There's not a whole
560 lot of trips coming from that side.

561

562 Dave Frederickson 2:57

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563 So, we think the ordering kiosk, we call it the ordering kiosk. Is that a position that forces them to have
564 to go around the building?

565

566 Joseph Coronati 3:05

567 Yes.

568

569 Dave Frederickson 3:05

570 Okay. Perfect. Yep. During construction, all traffic has to use Silverfox. Lane. Because I don't want that
571 mud coming out onto, or whatever is going to happen in there out onto Essex. So, we didn't prepare
572 their construction entrance. Yeah, just keep that keep that closed until the end.

573

574 Joseph Coronati 3:28

575 Yeah, we can note that. Let's note that construction vehicles. They can come in. Yeah, they can come in
576 from Essex. You just don't want to go out.

577

578 Erica 3:41

579 I think he said he doesn't want any traffic at all until it's finalized.

580

581 Joseph Coronati 3:45

582 Well, we'll have to build that from Essex.

583

584 Dave Frederickson 3:47

585 Okay.

586

587 Joseph Coronati 3:48

588 Might be better to have people come in that way.

589

590 Dave Frederickson 3:50

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591 Okay.

592

593 Joseph Coronati 3:51

594 And out Silverfox just to keep the mud on the private property, right.

595

596 Dave Frederickson 3:59

597 This is a question for maybe, as a private road, did we stipulate that all of the utilities on that side of
598 privately owned or that's where we've done it,

599

600 Christina McCarthy 4:13

601 we haven't done anything with the association. Usually, they'll do the association paperwork up, we'll
602 submit it to legal they'll review it. And then make sure everything's covered that needs to be covered
603 and then give it back to sign.

604

605 Dave Frederickson 4:32

606 So, I guess this is a two-part statement. So, if the association which is what I'm recommending owns
607 from the shut off on Essex and all of that underground infrastructure that has water, we will need an
608 easement to be able to come on there for shut off of billing for payment. And that facility needs to be
609 run in such a way that we can shut off each individual section. In case it goes condo because you
610 brought it up. So, if you're going to do three units, I need three shut offs for three services to each
611 building.

612

613 Joseph Coronati 5:09

614 Yeah, we wouldn't do that today. Right? It's got to be something they have to retrofit if they went that
615 route.

616

617 Dave Frederickson 5:16

618 I just wanted stated that that's a requirement, right.

619

620 Joseph Coronati 5:18

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621 I think all of that information was completed back when we did because we did this in a couple phases.
622 We did the road as a separate development. Okay. And so, all that paperwork should be all done.
623 Because that was all we did, like just the road created all the lots. I think that even accounted for the
624 cost sharing of lots in the road. I think a lot of that stuff was done way back when we did the original
625 road. Yeah, that was all that's already been handled with easements. Okay.

626

627 Christina McCarthy 5:54

628 2018 or 19?

629

630 Joseph Coronati 5:57

631 Well, that's good question. My job in 2014. I don't think it was that long ago.

632

633 Dave Frederickson 6:06

634 I think we'll do some research on that.

635

636 Paul Hammond 6:10

637 But I believe this was a first way here in the condo situation.

638

639 Joseph Coronati 6:14

640 So, I don't want to confuse you with that. And I was just a question for me.

641

642 Paul Hammond 6:17

643 Right? Well, I probably should use that terminology, but at least a two-tenant building. This is the first
644 I'm hearing of all the two-tenant building, it may not have been the case I may have missed out on so
645 you're right now the other ones, but to David's point, if tenant a need to be shut off, we don't want to
646 shut down the entire building. You know, think you'd be shut down for any logical reason, as agents on
647 the water supply? And like that, which is going to affect the sprinkler system? Is there going to be one
648 contiguous sprinkler system that structure?

649

650 Joseph Coronati 6:57

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651 I think that's how they were thinking. Yeah, yeah. The architect looked at our utilities and was fine with
652 the one service and the one.

653

654 Paul Hammond 7:07

655 Which is, yeah, I agree. That's a good concept. Until you in a day needs to be shut down because the
656 head sprinkler activation, and you don't want to be the one who no longer has protection until later in
657 the day when it's back up and running. But I'm not suggesting we look at two separate sprinkler systems
658 in that structure. But I haven't seen anything to do with the structure.

659

660 Joseph Coronati 7:31

661 And you probably could go on, but that would be probably internal to the building.

662

663 Dave Frederickson 7:35

664 Yeah, just the ball valve shut off. Right? The problem is, is that the water goes through B to get to a, and
665 you have to shut down B then A is also shut down. So just try to conceptualize that or make that work.

666

667 Joseph Coronati 7:48

668 I think everybody will be like, they could come in and split. You might have valves for sprinkler systems,
669 or they have to run under slab.

670

671 Paul Hammond 7:57

672 One could wind up being a universal sprinkler room, which we've seen before that goes to unit a unit B,
673 right? Because you don't want unit A to have access to Unit B. Conversely, you do want a sprinkler.

674

675 Joseph Coronati 8:11

676 Right? It is all one owner. Yep. And so, they may right now have these concerns. Right? They may say
677 well, no, we'll just we're going to handle all that ourselves internally, But the those will all be things that
678 you'll obviously be reviewing at building permit stage. Really.

679

680 Dave Frederickson 8:29

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681 The problem is I believe that our bylaws state that we are your domestic use has to be individually
682 sprinkled just like the big apartment that went up. I believe that was always in different divisions. I'm
683 sorry, not sprinkle. Water, domestic water. Does that sound right sorry I apologize. I'll look into that to
684 be more.

685

686 Dave Frederickson 8:32

687 We do have a proposed domestic line separate from our proposed fire line.

688

689 Dave Frederickson 8:56

690 Right, because we'd see that. I think there's I think it should I think each individual unit has to have its
691 own, have its own water meter.

692

693 Joseph Coronati 9:10

694 Yes. Okay. Well, I say yes.

695

696 Dave Frederickson 9:17

697 It was it was a conversation that I had with the water, Water foreman, when I first came on to
698 understand how it worked, if I recall correctly.

699

700 Joseph Coronati 9:29

701 Then if we have one domestic service coming into the building, we'd have to split that obviously once
702 again, and then have two feeders, one in the Starbuck space and with all the...

703

704 Dave Frederickson 9:41

705 Or have a mechanical room, right? You got to be fire sprinkler; you're going to have to do domestic fire
706 service two domestic services in that room.

707

708 Paul Hammond 9:55

709 Maybe a little deep for TRC okay, it's a good head up.

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710

711 Joseph Coronati 9:58

712 As the next I think I would need to do at some point is have the architect coordinate with you guys to
713 see so when he's drawing his plans, he is they actually do have some water info sheet P- 101 has all the
714 layouts.

715

716 Mike Labell 11:06

717 For me I had a couple of entrance questions, but most of them have been answered already, particularly
718 about the entrance of Essex, but just so I can visualize it where the entrance be in comparison to
719 McDonald's is that like directly across from the McDonald's entrance?

720

721 Joseph Coronati 11:24

722 Show kind of that if you look at our plans, like show their little v. and yeah, we're basically right across
723 from their closer, their exit.

724

725 Mike Labell 11:37

726 Okay, so your entrance would be across from their exit?

727

728 Joseph Coronati 11:40

729 Yes.

730

731 Mike Labell 11:41

732 Okay. All right. And that's about 80 feet. I think you said from the intersecting point. Yes. Okay. That is, it
733 is a busy intersection for us in regard to motor vehicle accidents and things like that do a lot of traffic
734 that comes in and out of there. So that is obviously a thought to keep in the back of your mind as far as
735 that goes. But if it's in line with the exit of McDonald's I don't see that being a huge problem especially
736 since there's plenty of space in the parking lot for the cars in the queue to kind of line up before they get
737 out too far. Right. And my other question is just because I'm curious to know if there are going to be
738 people in the building all throughout the night, do you know if it's a 24-hour business do you know?

739

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740 Joseph Coronati 12:29

741 It's not 24 hours it's we do hours of operation on our site plan listed in 6am to 9pm Okay, they will be
742 closing for quite a bit excellent I believe that's I mean, that's basically for Starbucks. We don't know
743 what the retail use is going to be, so we don't really know their hours right? But they'd have to be
744 whatever your requirements are for the town.

745

746 Mike Labell 13:03

747 Yeah, so Starbucks isn't 24 hours then.

748

749 Joseph Coronati 13:05

750 No.

751

752 Mike Labell 13:06

753 Okay, very good. That's all I had.

754

755 Paul Hammond 13:08

756 We would meet the town ordinance so supra key box, I don't know that needs to be mentioned now in
757 TRC, but thought I'd bring it up.

758

759 Joseph Coronati 13:21

760 That'd be a good note to add. So, you don't want to Knox box.

761

762 Paul Hammond 13:25

763 Yeah, supra safe key box. Yeah, that's what we use a supra company everybody calls it a Knox box. Yeah,
764 when you look up Knox we're not with that company.

765

766 Joseph Coronati 13:35

767 That super is just su P er?

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768

769 Paul Hammond 13:37

770 Supra safe, kitty now owns it, but it'll bring you to the site.

771

772 Joseph Coronati 13:46

773 That goes on the face of the building. But it'd be one for each door or do you have one master?

774

775 Paul Hammond 13:53

776 A one master key.

777

778 Joseph Coronati 14:13

779 Just looking for the note to that effect because we do a standard note that talks about lock boxes.

780

781 Paul Hammond 14:30

782 I know we've discussed it with the other businesses 603 specifically

783

784 Joseph Coronati 14:42

785 Yeah, we'll add that note to the site plan to make sure they see it.

786

787 Christina McCarthy 15:17

788 The dumpster is going to have fencing or cover?

789

790 Joseph Coronati 15:23

791 They actually have a block wall on three sides and then fencing the front-page A-202 they don't even
792 bother with the fencing around the three sides and just go to full block walls obviously a lot sturdier.

793

794 Christina McCarthy 15:50

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795 And did you say there's going to be propane?

796

797 Joseph Coronati 15:52

798 Yes, underground propane tanks.

799

800 Christina McCarthy 15:56

801 Okay is there, are they somewhere in the...

802

803 Joseph Coronati 16:07

804 Yes, sheet c-4 a utility plan over here the Silverfox curb cut.

805

806 Glenn Copleman 16:49

807 Details for the dumpster.

808

809 Paul Hammond 17:23

810 So, there being reasonable distance from the travel lane.

811

812 Erica 17:31

813 And there are bollards between the parking spaces and the propane

814

815 Paul Hammond 17:36

816 I was looking for Thank you.

817

818 Erica 17:38

819 My boyfriend's a propane tech.

820

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821 Joseph Coronati 17:45

822 And they are buried.

823

824 Joseph Coronati 18:02

825 Question, how much review is the town going to expect when the second and or third tenants come in?

826 Are they going to come back before the town or is this going to be all set at this once this gets approved

827 and then they just come in and occupy those spaces I'm just not sure how you all handle that?

828

829 Christina McCarthy 18:29

830 If it's a like office, a retail business I mean cozy corner not every applicant comes before us because it's a

831 strip mall. So, I assume unless it's a change of use. Like when the dental office expanded, they expanded

832 into what used to be the paint place that was next to the dental office in cozy corner.

833

834 Paul Hammond 18:57

835 Yeah, there's been so many things.

836

837 Christina McCarthy 18:59

838 I know there was used to be a yoga studio and a workout place anyway when the dental place

839 expanded, we have them actually, they didn't come in either Greg did a building permit so I would

840 probably say no unless it's going to be something that's not retail.

841

842 Joseph Coronati 19:24

843 So, it would probably fall under the, not, I'm looking at Dave and I'm not it's the seat that would be

844 beside him. Person yet to be named.

845

846 Christina McCarthy 19:38

847 Like a CO, building inspector or change of tenant or does Greg do you guys go out and do that when the

848 tenants change?

849

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850 Paul Hammond 19:48

851 If it's a structural change they generally will bring that to us though, we've seen some changes take place
852 obviously. But the through the front door they're doing structural changes even moving walls inside
853 when he made the dentist's office bigger, that all came through the building inspection process, there
854 was a change of use, obviously, it's a totally different animal. But we've seen several changes of the
855 center of town, from one dog washing facility to another dog washing facility, I can tell because I
856 changed the title on the door, generally input that we have recognized from that particular facility. So,
857 they don't all come. But they should, and the ones that we become aware of, and we do follow up,

858

859 Joseph Coronati 20:35

860 A lot of towns would require at least a new CO to be issued when a business change, even if it's the
861 same business when it changes hands, just to make sure that it gets inspected and all codes are up to
862 compliance and everything.

863

864 Paul Hammond 20:52

865 We do the fire dept. does have a program where we annually inspect each business regardless of invited
866 or not, they haven't been refused, or we haven't had to, they generally welcome our input.

867

868 Maddie Dilanno 21:35

869 For your conditional use permit application, I would recommend just providing a narrative addressing
870 each of the criteria in the zoning for the groundwater Conservation District.

871

872 Joseph Coronati 22:03

873 I think we did but it was after, it was brought, it was brought to you.

874

875 Maddie Dilanno 22:13

876 It just makes it easier for the planning board.

877

878 Joseph Coronati 22:16

879 Okay, definitely.

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880

881 Ross Tsantoulis 22:25

882 One quick question is, if you have an ETA Joe on, Stephen Pernaws revised traffic memo.

883

884 Joseph Coronati 22:31

885 I don't. He didn't email about that. And it's good. He said this, I think that list of all the stuff he's
886 supposed to be working on in order. I think it's coming up. Sorry, I can't find it. If I had a couple minutes.

887

888 Ross Tsantoulis 22:51

889 I know that's, you know, that's pending for this project and Domino's.

890

891 Joseph Coronati 23:02

892 State permits, we do need AOT and septic. And for Domino's, we might have septic for Domino's
893 approved.

894

895 Dave Frederickson 23:24

896 What about the extension of the culvert and how does that process work?

897

898 Joseph Coronati 23:29

899 That's pretty it's just a drain culvert. So, there's no there's no pipelines on that side.

900

901 Christina McCarthy 23:40

902 David, they going to have to get a driveway permit for Essex entrance from you.

903

904 Dave Frederickson 23:44

905 It's paved, but I will have to find that out to see what kind of practices have been on existing driveway.

906

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907 Christina McCarthy 23:59

908 Well, I know like the, I know, the D O. T. When you even when you change hands, they want you to
909 reapply for a new permit so that it's under new owner, you know, so you have it up to date. So, I didn't
910 know if.

911

912 Paul Hammond 24:11

913 I just give you some background.

914

915 Christina McCarthy 24:14

916 Yeah, just to get it, you know.

917

918 Joseph Coronati 24:16

919 At least so the records are all current.

920

921 Christina McCarthy 24:18

922 Yeah, because it is a business that'll probably be there for hopefully 40 years. 40 more years. Does
923 anybody else have anything else if they want to? Re attack. So, looking at the Dubois and King
924 comments. Everything looks like it is to be done and is able to be done. When did I put you on for? Are
925 you on February 3? February 17. Right? So will that give you time to get these comments re- done and
926 get your resubmittal done before the planning board.

927

928 Joseph Coronati 24:25

929 Yes.

930

931 Christina McCarthy 25:24

932 And actually, February 17 should give you enough time to rehash it, relook at it.

933

934 Joseph Coronati 25:30

935 And solve all those items and even add in all the ones that kind of just came up about keys and water.

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936

937 Christina McCarthy 25:38

938 And hopefully Steve will have his traffic done by then. So almost a month, so. So does the TRC feel at
939 this point that it is okay to move it, let it move to the planning board? Or do you want to revisit one
940 more time or?

941

942 Paul Hammond 26:05

943 I 'm comfortable where we are.

944

945 Christina McCarthy 26:12

946 Okay, knowing that everybody will be followed up with in their respective positions as this moves
947 forward, Dave,

948

949 Dave Frederickson 26:26

950 I don't know how we address the line striping on Essex drive.

951

952 Christina McCarthy 26:30

953 So, we will, if we feel that...

954

955 Dave Frederickson 26:33

956 Is it a stipulation of the approval or?

957

958 Joseph Coronati 26:36

959 Conditions or condition of the approval.

960

961 Christina McCarthy 26:39

962 What we do is if we feel that they're able to move forward to Planning Board, I'll do a letter, we'll put
963 down some of the recommendations that we feel need to go in there conditions of approval, I'll do a

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964 memo up to the planning board and submit that in with their packets, that it was a memo from the TRC
965 to the planning board with our recommendations, whatever they may be.

966

967 Joseph Coronati 27:07

968 And the striping would be one of those.

969

970 Dave Frederickson 27:12

971 Outside of their proposal on that project, the formation of the association after the sale of the lots.
972 That's a little odd, because somebody bought a lot now then says, oh, after we bought over Association,
973 so little weird. I don't know.

974

975 Joseph Coronati 27:37

976 Yeah. I mean, usually a homeowner's association or condo or anything. I mean, it's all done prior to the
977 first. So, lots are usually part of the site plan approval.

978

979 Joseph Coronati 27:47

980 It is to, that's what I was saying with the when we did the subdivision. That's when all that was created.

981

982 Christina McCarthy 27:52

983 Yeah, might have to go back and look up, I want to say 2000...

984

985 Joseph Coronati 27:55

986 Why we haven't addressed it. I think the site plans is because it was the maybe kind of a private thing
987 between them, because it's more of a cost sharing between the four lots. So, they say it's an association,
988 I should say hidden so that they all are aware of it. And they were all that was all determined with the
989 lawyers. But it's been drawn out.

990

991 Dave Frederickson 28:18

992 There's nothing noted on any plan.

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993

994 Joseph Coronati 28:21

995 Of the Cost sharing or Association. That may be but it's...

996

997 Dave Frederickson 28:27

998 Subject to Association, or anything like that tying the plan to the association.

999

1000 Joseph Coronati 28:34

1001 I think that we'd have to look unless it's the law. Right. Okay.

1002

1003 Dave Frederickson 28:37

1004 All right. That's it. That's a good point.

1005

1006 Joseph Coronati 28:40

1007 Okay, it's all based on I think it's all going to be part of that subdivision. Okay. Those conditions?

1008

1009 Christina McCarthy 28:45

1010 Yeah. I want to say it was 2019. I think you're; I think we did the road and the subdivision.

1011

1012 Joseph Coronati 28:55

1013 I'll have the owner, Rye Harbor Realty.

1014

1015 Dave Frederickson 28:58

1016 But like I said, it's if something happens to that watermain 50 years from now, we're subject to the
1017 association's road. Standard, not the town's Yeah. So normally you push that right on the association,
1018 and you say you own everything from here, and now if anything breaks, the association's responsibility.

1019

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1020 Christina McCarthy 29:22

1021 Yeah. Now that we're talking about it and might have been in 2018. It's been a couple years. Because I
1022 think you did the road first and then you did the lots. And then we had to amend the lots. So, this has
1023 been so

1024

1025 Joseph Coronati 29:41

1026 In front of the board a lot. But I'll get it from the owner.

1027

1028 Dave Frederickson 29:49

1029 The daycare isn't on any other road because they access from Essex correct, but it was part of the
1030 subdivision. Okay.

1031

1032 Christina McCarthy 30:03

1033 Okay, so recommendations or recommended conditions of approval. We have the

1034

1035 Joseph Coronati 30:16

1036 Traffic control striping?

1037

1038 Glenn Copleman 30:18

1039 Whatever the wording was for

1040

1041 Christina McCarthy 30:19

1042 Domino's Yeah, repeat that.

1043

1044 Joseph Coronati 30:28

1045 Satisfaction of all the D&K.

1046

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1047 Christina McCarthy 30:35

1048 Yeah, that will be questions. We usually don't put them on our recommendations because that they
1049 have to meet those for the planning board anyway. As part of their conditions of approval, okay. All
1050 State Local approvals.

1051

1052 Joseph Coronati 30:51

1053 but these were changed some of these some of these were changes to plans, though.

1054

1055 Ross Tsantoulis 30:59

1056 I think what Chris is saying is that the planning board is going to ask if they've all been addressed
1057 anyway.

1058

1059 Christina McCarthy 31:06

1060 Right. Yeah. Okay, right. We don't we don't typically make Dubois and King reviews part of our
1061 recommendations because a Planning Board has though they do that at their, at their level.

1062

1063 Joseph Coronati 31:23

1064 Will, planning board be seeing this.

1065

1066 Christina McCarthy 31:26

1067 Well, they'll see the next review that comes out.

1068

1069 Ross Tsantoulis 31:29

1070 Okay. Final one.

1071

1072 Glenn Copleman 31:31

1073 Hopefully, it will be hopefully all these will be done.

1074

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1075 Christina McCarthy 31:33

1076 Correct. And if not, then the planning board will get the current review that is at that point. Okay. So,
1077 and they'll make those part of their conditions of approval that they have to meet whatever is left.

1078

1079 Dave Frederickson 31:46

1080 Drainage and Storm water maintenance. That on your list? They have they have to have a probe they
1081 have to have that document inspection, maintenance plans.

1082

1083 Ross Tsantoulis 32:03

1084 Is that at the construction entrance? That was not? Right. Construction egress from the property is along
1085 Silverfox?

1086

1087 Christina McCarthy 32:12

1088 Okay, hold on. So, in the inspection and maintenance plan, is that what you were talking about for
1089 drainage and pond? Okay. Okay, but that's in there. Okay. And can you repeat that one,

1090

1091 Ross Tsantoulis 32:23

1092 Construction, egress will be along Silverfox Lane.

1093

1094 Dave Frederickson 32:31

1095 And you want to entrance only from you wanted to be able to access it from?

1096

1097 Joseph Coronati 32:37

1098 Yeah, I think it makes sense to enter from that location during construction.

1099

1100 Dave Frederickson 32:41

1101 And the purpose of that is if they're not keeping up with their construction entrance, the mud is on
1102 their private road, not on ours.

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1103

1104 Christina McCarthy 32:49

1105 So, construction egress along Silverfox Lane.

1106

1107 Paul Hammond 32:52

1108 I think I would reiterate signage. I would reiterate on signage, stop sign Silverfox lanes signage. On
1109 occasion, I think I'd use it as a

1110

1111 Christina McCarthy 33:06

1112 Sign. It's a stop sign. road sign

1113

1114 Joseph Coronati 33:12

1115 That probably would have appeared on the very original subdivision plan, wouldn't it? We'll talk about
1116 how the road on it.

1117

1118 Paul Hammond 33:19

1119 Yeah, here we are two years later.

1120

1121 Joseph Coronati 33:21

1122 I understand.

1123

1124 Tara Campbell 33:25

1125 I think one of you was looking for the subdivision plan, Essex common. Jones Beach, April 23 18, and a
1126 revised January 10, 19.

1127

1128 Joseph Coronati 33:44

1129 That can certainly be a condition on this applicant, but that maybe more.

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1130

1131 Paul Hammond 33:48

1132 I don't know that it needs to be this, but it needs to get done.

1133

1134 Joseph Coronati 33:52

1135 Do it for sure. But it might need more to view communication with the with the guy that owns the road
1136 still just Turner Porter because he's going to have to do that.

1137

1138 Paul Hammond 34:03

1139 Go and reach out to this gentleman.

1140

1141 Joseph Coronati 34:07

1142 I mean, I certainly will. Okay, but Mike Garapey the other we sort of voice,

1143

1144 Paul Hammond 34:15

1145 The town has those contacts.

1146

1147 Christina McCarthy 34:19

1148 Mike Garapey's? Yeah.

1149

1150 Dave Frederickson 34:23

1151 Associations on you. All the current owners of the land are going to say what Association and we're
1152 going to be stuck.

1153

1154 Christina McCarthy 34:29

1155 I don't think Mike Garapey would do that.

1156

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1157 Dave Frederickson 34:31

1158 I don't know. You know, purely from a business point of view.

1159

1160 Joseph Coronati 34:35

1161 These guys are so strict that when the hospital closed on their lots, they made them put up the top
1162 course money in escrow because the hospital you know, no, these guys are small players. So, they're like
1163 they don't want to get stuck with finding out that they got a top course it out of their own pockets. They
1164 made Turner put up \$30,000 And whatever held in escrow until the top course is done because they
1165 want to get stuck with it. So yeah. You got a lot of lawyers looking at this from the buyer's perspective as
1166 well. So, but it is good to kind of, you know, those are three years ago that those meetings were. It's
1167 kind of good to figure it all out and get it done.

1168

1169 Dave Frederickson 35:26

1170 But there was a whole bunch of subterranean infrastructure that needs to be maintained and 20 years
1171 from now, 30 years from now fails to figure stuff. I don't care how much money you have.

1172

1173 Joseph Coronati 35:38

1174 Right? That happens in all private community.

1175

1176 Dave Frederickson 35:42

1177 That's correct. That's right.

1178

1179 Joseph Coronati 35:44

1180 You guys get the first call. Right.

1181

1182 Dave Frederickson 35:48

1183 I don't think it's the leave it better than you found it. Right. Make sure the people after us aren't in the
1184 same boat that we're in a lot of situations.

1185

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1186 Christina McCarthy 36:03

1187 Does anyone else want to add anything. So, the traffic control striping and the construction egress along
1188 Silverfox lane, reached out to Mike Garapey regarding signage stop sign in the road sign that it is okay.
1189 Did I miss anything? Okay. Can I just get a motion to allow this to continue with the motion?

1190

1191 Joseph Coronati 36:37

1192 Well what about public comment.

1193

1194 Tara Campbell 36:44

1195 Oh, I'm sorry. Can you just upload those the point you referenced the 24th documents between for the
1196 engineers and stuff and they're not listed in the packet? I think the latest I have is the 13th of January.

1197

1198 Christina McCarthy 36:59

1199 Yes, I get those yesterday.

1200

1201 Tara Campbell 37:03

1202 Thank you.

1203

1204 Joseph Coronati 37:14

1205 So, what you're looking for Chris is a recommendation.

1206

1207 Christina McCarthy 37:22

1208 A motion to recommend.

1209

1210 Christina McCarthy 37:37

1211 A motion to recommend that this moves forward to the planning board.

1212

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1213 Paul Hammond 37:42

1214 So, it's where I was going with that. I'd like to make a recommend recommendation and just move
1215 forward to the planning board on February 17th.

1216

1217 Joseph Coronati 37:52

1218 With those conditions

1219

1220 Paul Hammond 37:55

1221 With those conditions?

1222

1223 Christina McCarthy 37:58

1224 Second,

1225

1226 Dave Frederickson 37:58

1227 I'll second

1228

1229 Christina McCarthy 38:10

1230 And all in favor Can you I me?

1231

1232 Glenn Coppleman 38:20

1233 Paul did you vote?

1234

1235 Paul Hammond 38:23

1236 I'm not in favor of them. Ah, yes. Okay.

1237

1238 Christina McCarthy 38:23

1239 Ok All in favor. 4 yes, 0 no and 0 abstain. Alright, call meeting adjourned at 215 Thank you everyone.

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1240 Respectfully

1241 Christina McCarthy

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

February 3, 2022

Raymond Planning Board
Attn. Brad Reed, Chair
4 Epping Street
Raymond, NH 03077

**RE: Response Letter
Silver Fox Lane, Raymond NH
Tax Map 29-3, Lot 42-5
JBE Project No. 14163.7**

Dear Mr. Reed,

We are in receipt of comments from Ross Tsantoulis of DuBois and King dated January 24, 2022. Review comments are listed below with our responses in bold.

GENERAL COMMENTS:

1. *Sheet 3 of 13. Drawing No. C2. Site Plan.*
 - a. *Repeat Comment. The proposed locations for snow storage appear to be in conflict with the proposed detention basin (slope 3:1) on the north side of the property and also with the proposed landscape/tree locations on the north, west and south side. We recommend that the applicant should find a different location for the proposed snow storage.*

RESPONSE: The snow storage area has been revised.
 - b. *Repeat Comment. There are signs shown on the site plan that are for the handicap parking designations. We recommend that the applicant revise the plan so that handicap parking signs align with the proposed accessible spaces*

RESPONSE: The handicap parking signs have been moved to be in front of the handicap parking spaces.
2. *Repeat Comment. The Site Plan Application includes an architectural drawing noting sconce lighting. We recommend that the applicant submit additional design details for the proposed lighting to comply with the Town of Raymond's Outdoor Lighting Standards which requires that lighting to be full cut-off or shielded type, not allowing any upward distribution of light.*

RESPONSE: The architect will provide a new lighting plan at a later date.

3. *Drainage Analysis:*

- a. *Repeat Comment. The Drainage Analysis Report does not include the extreme precipitation Tables. We recommend that the applicant revise the report to include the Extreme Precipitation Tables*

RESPONSE: The drainage analysis report has been revised to include the Extreme Precipitation Tables.

- b. *Repeat Comment. We recommend that the applicant revise the Drainage Analysis Report to correct discrepancies of the invert elevations, and slopes and length of pipes between the plan and report. Multiple inconsistencies were found.*

RESPONSE: The drainage analysis has been revised to confirm that invert elevations and slopes and length of pipes should match between the plan and report.

- c. *Repeat Comment. We recommend that the applicant revise the Stormwater Report to provide modeling summaries for the 100-year storm frequency event, and that the proposed wet ponds are designed to include an emergency spillway in accordance with the Storm Drainage requirements defined in Section 6.11.03 of the Site Plan Review Regulations*

RESPONSE: The stormwater report has been revised to provide modeling summaries for the 100-year storm frequency event.

- d. *Repeat Comment. We recommend that the applicant provide test pit information including the Estimated Seasonal High Water Table (ESHWT)*

RESPONSE: Test pit information including estimated seasonal high-water tables have been added to the drainage analysis.

- e. *Repeat Comment. We recommend that the applicant provide an Inspection and Maintenance plan.*

RESPONSE: An Inspection and Maintenance Plan is included with this submission.

Included with this response letter are the following:

1. Six (6) Full Size Plan Sets.
2. Ten (10) Half Size Plan Sets.
3. Three (3) Drainage Analysis.

Thank you very much for your time.

Very truly yours,

JONES & BEACH ENGINEERS, INC.

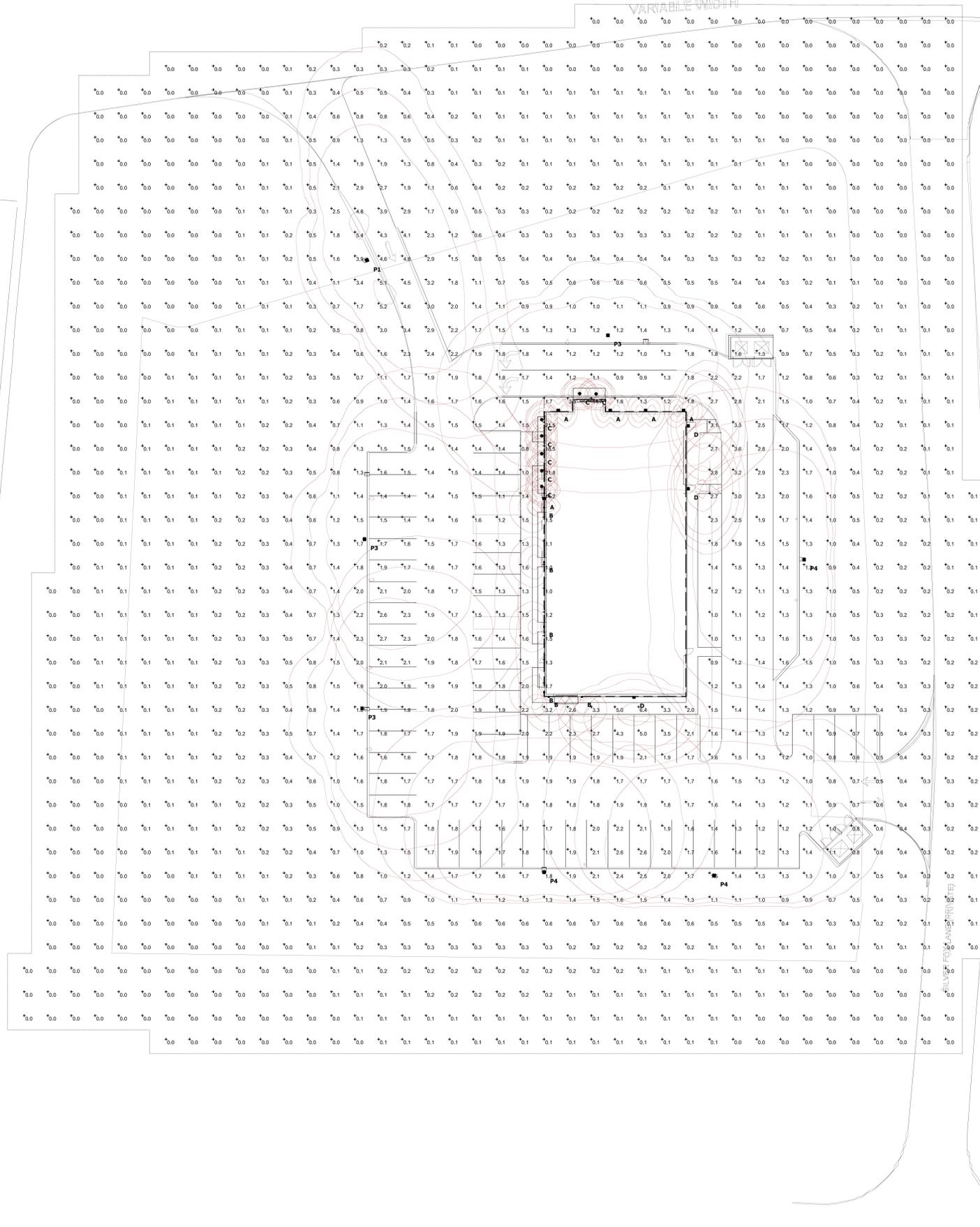


Erica Eames
Project Engineer

cc: Ross Tsantoulis, DuBois & King (via email & U.S. Mail)

ESSEX DRIVE

VARIABLE WIDTH



Plan View
Scale - 1" = 25ft

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.7 fc	21.8 fc	0.0 fc	N/A	N/A

Schedule							
Symbol	Label	Quantity	Mounting Height	Manufacturer	Catalog Number	Description	Plot
	A	5	6'-0"	TECH LIGHTING	7000WVND	WINDFALL WALL SCONCE	 Max: 68cd
	B	6	6'-0"	OXYGEN LIGHTING	3-712-224	LEDA OUTDOOR WALL SCONCE	 Max: 189cd
	C	7	10'-0"	LEDRA BRANDS	NUS-RAPH-SH-16LN-30K-90-D40-120-DIM10-NC-WH	3" ROUND ADJUSTABLE PINHOLE FIXTURE	 Max: 2359cd
	D	3	12'-0"	Lithonia Lighting	WST LED P2 30K VW MVOLT	OUTDOOR ARCHITECTURAL LED WALL SCONCE	 Max: 2600cd
	P1	1	20'-0"	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C40-D-UNV-T3-BZ-7030	PREVAIL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 3000K LEADS AND TYPE III OPTICS	 Max: 11117cd
	P3	3	20'-0"	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C40-D-UNV-T4-BZ-7030	PREVAIL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 3000K LEADS AND TYPE IV OPTICS	 Max: 930cd
	P4	3	20'-0"	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C40-D-UNV-T4-BZ-7030-HSS	PREVAIL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 3000K LEADS AND TYPE IV OPTICS WITH HOUSE SIDE SHIELD	 Max: 9294cd

PROPOSED SITE PLAN

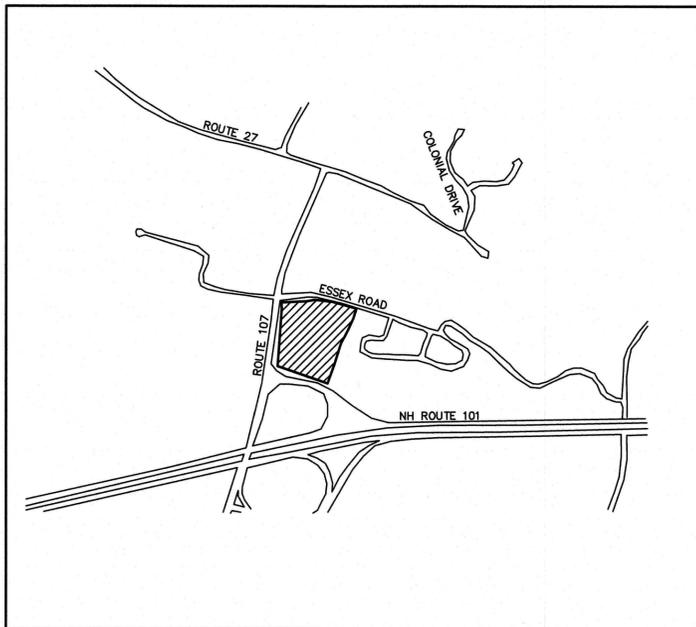
STARBUCKS COFFEE AND RETAIL STORE

TAX MAP 29-3, LOT 42-1

1 SILVER FOX LANE, RAYMOND, NH

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
~ ~ ~	~ ~ ~	FRESHWATER WETLANDS LINE
~ ~ ~	~ ~ ~	TREE LINE
---	---	STONEWALL
---	---	FENCE
---	---	SOIL BOUNDARY
---	---	EASEMENT
100	100	MAJOR CONTOUR
98	98	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
X	X	FIBER BERM
D	D	DRAINAGE LINE
S	S	SEWER LINE
G	G	GAS LINE
W	W	WATER LINE
WS	WS	WATER SERVICE
OHE	OHE	OVERHEAD ELECTRIC
UGE	UGE	UNDERGROUND ELECTRIC
○	○	GUARDRAIL
○	○	IRON PIPE/IRON ROD
○	○	IRON ROD/DRILL HOLE
○	○	STONE/GRANITE BOUND
○	○	PAVEMENT SPOT GRADE
100.00	100.00	CURB SPOT GRADE
100.00 TC	99.50 BC	
+	+	BENCHMARK (TBM)
+	+	DOUBLE POST SIGN
+	+	SINGLE POST SIGN
TP1	TP1	TEST PIT
○	○	TREES AND BUSHES
○	○	UTILITY POLE
○	○	LIGHT POLES
○	○	DRAIN MANHOLE
○	○	SEWER MANHOLE
○	○	WATER GATE
○	○	WATER SHUT OFF
○	○	SINGLE GRATE CATCH BASIN
○	○	TRANSFORMER
○	○	DRAINAGE FLOW DIRECTION
○	○	RIPRAP
○	○	OPEN WATER
○	○	FRESHWATER WETLANDS
○	○	STABILIZED CONSTRUCTION
○	○	ENTRANCE
○	○	CONCRETE
○	○	SNOW STORAGE
○	○	RETAINING WALL



LOCUS MAP
SCALE 1" = 1000'

SHEET INDEX

CS	COVER SHEET
C1	EXISTING CONDITIONS PLAN
C2	SITE PLAN
C3	GRADING AND DRAINAGE PLAN
C4	UTILITY PLAN
L1	LANDSCAPE PLAN
L2	LIGHTING PLAN
D1-D3	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS
S1	SEPTIC PLAN
T1-T2	TRUCK TURNING PLANS

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 CONTACT: JOSEPH CORONATI
 EMAIL: JCORONATI@JONESANDBEACH.COM

WETLAND AND SOIL CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
 8 CONTINENTAL DR BUILDING 2 UNIT H
 EXETER, NH 03833-7526
 (603) 778-0644
 CONTACT: JAMES GOVE

TRAFFIC ENGINEER
STEPHEN G. PERNAW & COMPANY, INC.
 PO BOX 1721
 CONCORD, NH 03302
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 CONTACT: STEPHEN PERNAW
 SGP@PERNAW.COM

LANDSCAPE DESIGNER
LM LAND DESIGN
 11 SOUTH ROAD
 BRENTWOOD, NH 03833
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 PO BOX 4550
 MANCHESTER, NH 03108
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 KSWEENEY@CHARRONINC.COM
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WATER
RAYMOND WATER DEPARTMENT
 4 EPPING STREET
 RAYMOND, NH 03077
 (603) 895-4657

ELECTRIC
NH ELECTRIC COOPERATIVE
 272-284 NH 107
 RAYMOND, NH 03077

CABLE/TELEPHONE
FAIRPOINT COMMUNICATIONS
 5 FLORAL AVE
 RAYMOND, NH 03077

PROJECT PARCEL
 TOWN OF RAYMOND
 TAX MAP 29-3, LOT 42-1

TOTAL LOT AREA
 113,488 SQ. FT.
 2.61 ACRES

APPROVED - RAYMOND, NH
 PLANNING BOARD

DATE:

Design: JAC | Draft: ERE | Date: 2/3/22
 Checked: JAC | Scale: AS NOTED | Project No.: 14163.7
 Drawing Name: 14163-PLAN-STARBUCKS.dwg
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REV.	DATE	REVISION	BY
2	1/12/22	REVISED PER TOWN ENGINEERS COMMENTS	ERE
1	11/18/21	ISSUED FOR REVIEW	ERE
0	6/22/21	ISSUED FOR REVIEW	DJM

Designed and Produced in NH

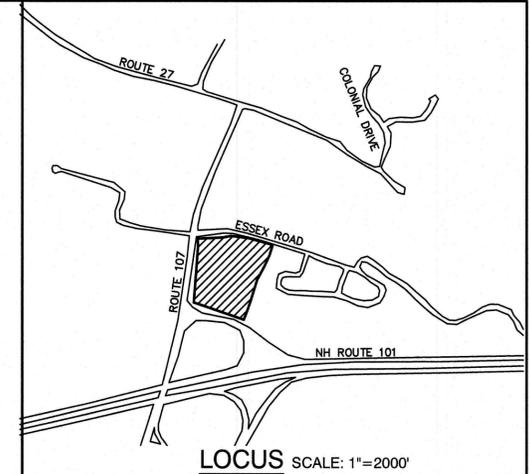
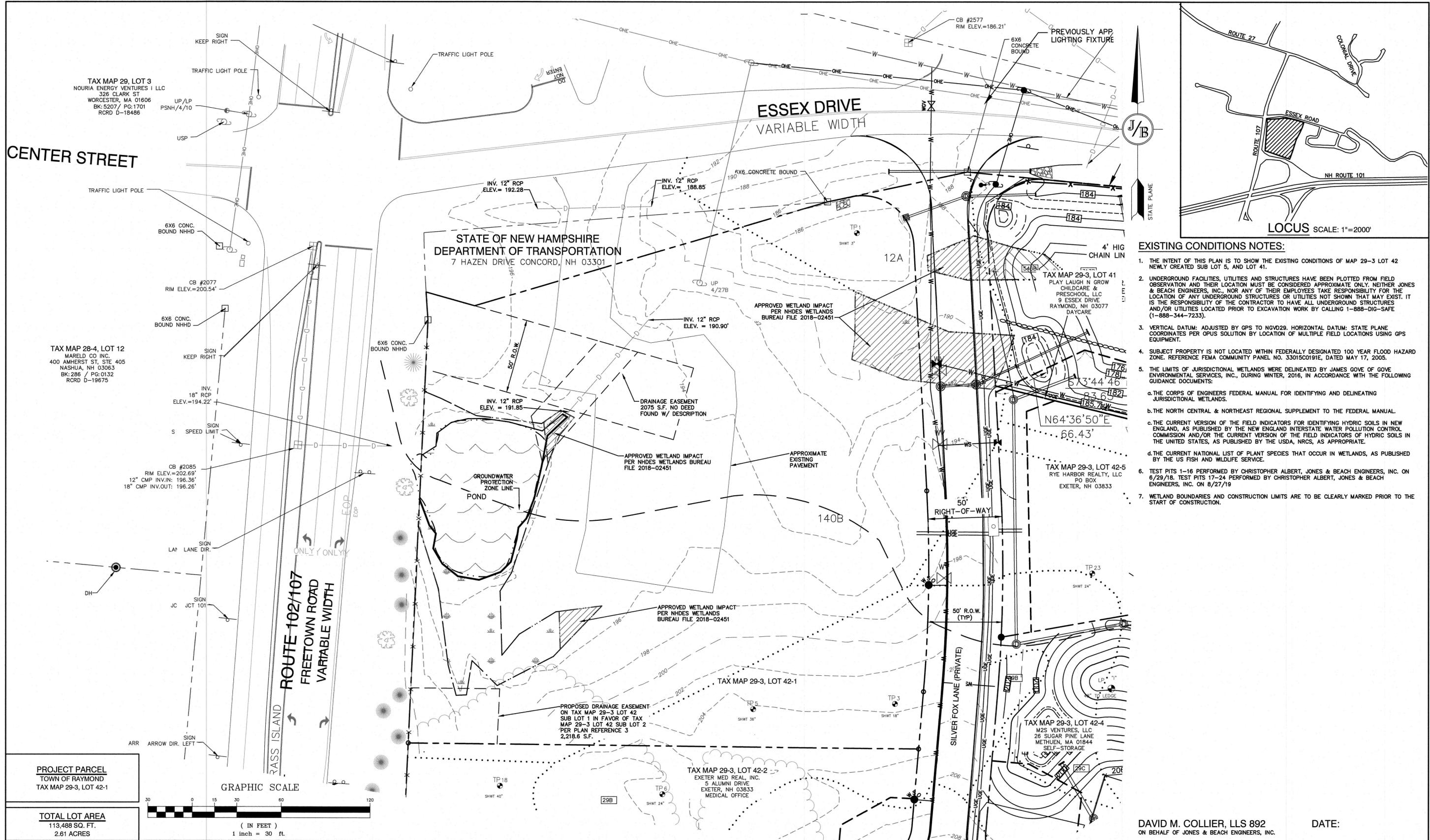
J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. | Civil Engineering Services | 603-772-4746
 PO Box 219 | Stratham, NH 03885 | FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **COVER SHEET**
 Project: **STARBUCKS**
1 SILVER FOX LANE, RAYMOND, NH 03077
 Owner of Record: **RYE HARBOR REALTY, LLC**
 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

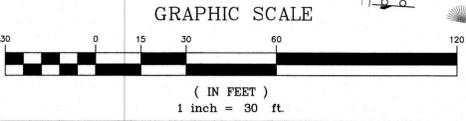
DRAWING No.
CS
 SHEET 1 OF 14
 JBE PROJECT NO. 14163.7

STARBUCKS, RAYMOND, NH, SITE PLAN
 JBE # 14163.7 REVISION 0, 11/18/21



PROJECT PARCEL
TOWN OF RAYMOND
TAX MAP 29-3, LOT 42-1

TOTAL LOT AREA
113,488 SQ. FT.
2.61 ACRES



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE:

Design: JAC Draft: ERE Date: 2/3/22
Checked: JAC Scale: AS SHOWN Project No.: 14163.7
Drawing Name: 14163-PLAN-STARBUCKS.dwg
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1	11/18/21	ISSUED FOR REVIEW	ERE
0	6/22/21	ISSUED FOR REVIEW	DJM

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

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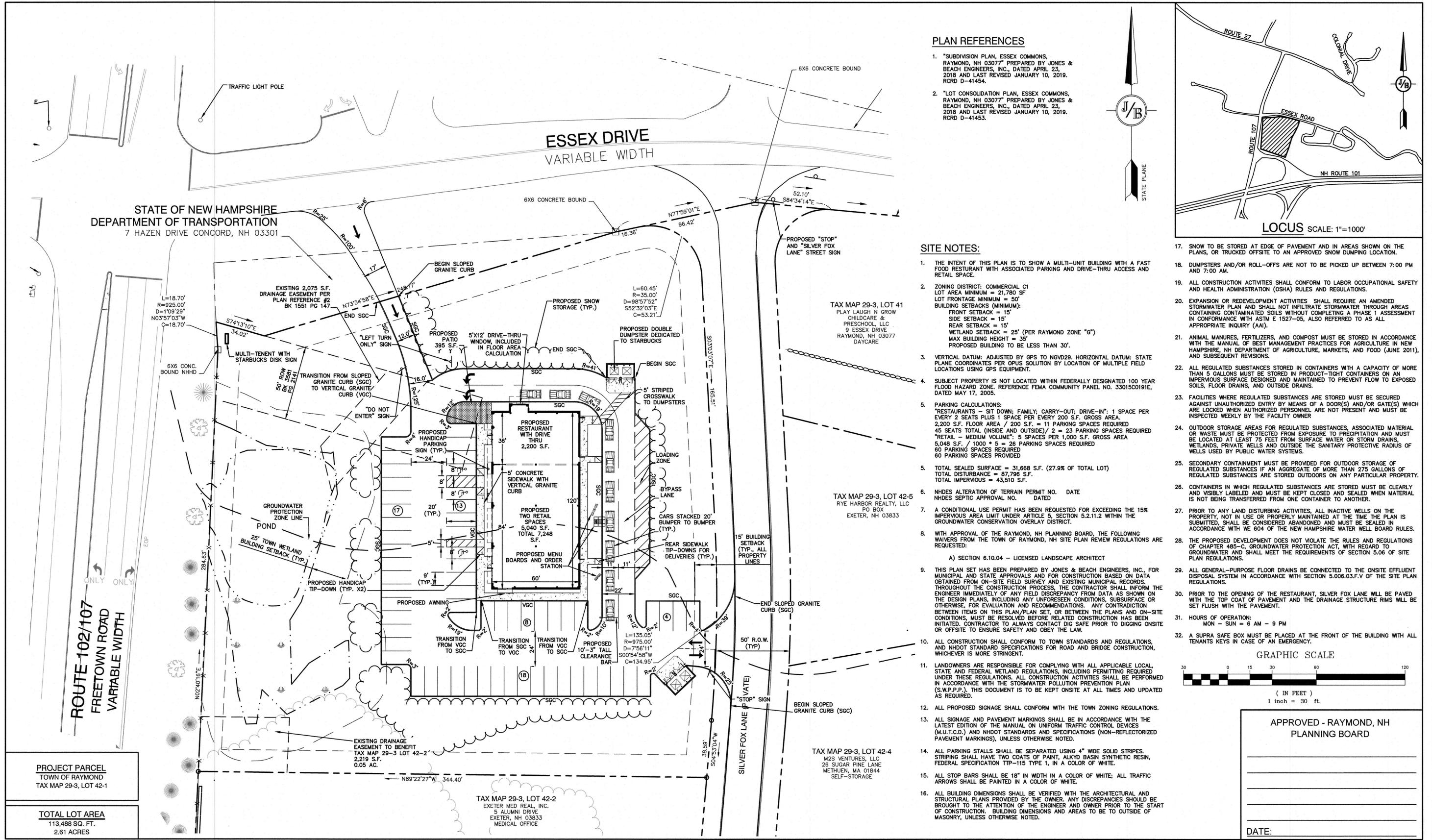
Plan Name: **EXISTING CONDITIONS PLAN**

Project: **STARBUCKS**
1 SILVER FOX LANE, RAYMOND, NH 03077

Owner of Record: **RYE HARBOR REALTY, LLC**
149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

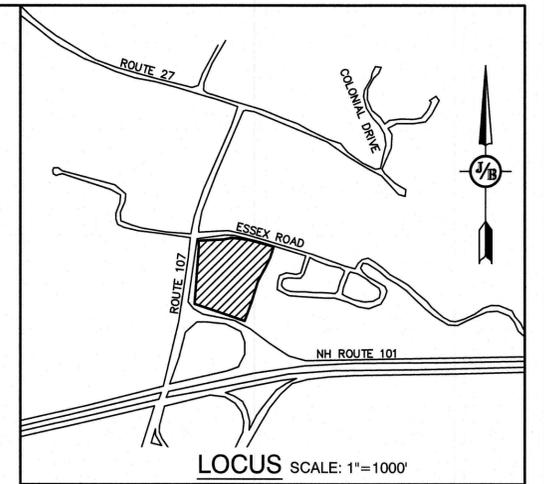
DRAWING No. **C1**

SHEET 2 OF 14
JBE PROJECT NO. 14163.7



PLAN REFERENCES

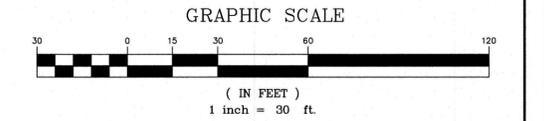
- "SUBDIVISION PLAN, ESSEX COMMONS, RAYMOND, NH 03077" PREPARED BY JONES & BEACH ENGINEERS, INC., DATED APRIL 23, 2018 AND LAST REVISED JANUARY 10, 2019. RCRD D-41454.
- "LOT CONSOLIDATION PLAN, ESSEX COMMONS, RAYMOND, NH 03077" PREPARED BY JONES & BEACH ENGINEERS, INC., DATED APRIL 23, 2018 AND LAST REVISED JANUARY 10, 2019. RCRD D-41453.



SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW A MULTI-UNIT BUILDING WITH A FAST FOOD RESTAURANT AND ASSOCIATED PARKING AND DRIVE-THRU ACCESS AND RETAIL SPACE.
- ZONING DISTRICT: COMMERCIAL C1
LOT AREA MINIMUM = 21,780 SF
LOT FRONTAGE MINIMUM = 50'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 15'
SIDE SETBACK = 15'
REAR SETBACK = 15'
WETLAND SETBACK = 25' (PER RAYMOND ZONE "G")
MAX BUILDING HEIGHT = 35'
PROPOSED BUILDING TO BE LESS THAN 30'.
- VERTICAL DATUM: ADJUSTED BY GPS TO NGVD29. HORIZONTAL DATUM: STATE PLANE COORDINATES PER OPUS SOLUTION BY LOCATION OF MULTIPLE FIELD LOCATIONS USING GPS EQUIPMENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0191E, DATED MAY 17, 2005.
- PARKING CALCULATIONS:
"RESTAURANTS - SIT DOWN; FAMILY; CARRY-OUT; DRIVE-IN": 1 SPACE PER EVERY 2 SEATS PLUS 1 SPACE PER EVERY 200 S.F. GROSS AREA.
2,200 S.F. FLOOR AREA / 200 S.F. = 11 PARKING SPACES REQUIRED
45 SEATS TOTAL (INSIDE AND OUTSIDE) / 2 = 23 PARKING SPACES REQUIRED
"RETAIL - MEDIUM VOLUME": 5 SPACES PER 1,000 S.F. GROSS AREA
5,040 S.F. / 1000 * 5 = 26 PARKING SPACES REQUIRED
60 PARKING SPACES REQUIRED
60 PARKING SPACES PROVIDED
- TOTAL SEALED SURFACE = 31,668 S.F. (27.9% OF TOTAL LOT)
TOTAL DISTURBANCE = 87,796 S.F.
TOTAL IMPERVIOUS = 43,510 S.F.
- NHDES ALTERATION OF TERRAIN PERMIT NO. DATE
NHDES SEPTIC APPROVAL NO. DATED
- A CONDITIONAL USE PERMIT HAS BEEN REQUESTED FOR EXCEEDING THE 15% IMPERVIOUS AREA LIMIT UNDER ARTICLE 5, SECTION 5.2.11.2 WITHIN THE GROUNDWATER CONSERVATION OVERLAY DISTRICT.
- WITH APPROVAL OF THE RAYMOND, NH PLANNING BOARD, THE FOLLOWING WAIVERS FROM THE TOWN OF RAYMOND, NH SITE PLAN REVIEW REGULATIONS ARE REQUESTED:
A) SECTION 6.10.04 - LICENSED LANDSCAPE ARCHITECT
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKID BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.

- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- DUMPSTERS AND/OR ROLL-OFFS ARE NOT TO BE PICKED UP BETWEEN 7:00 PM AND 7:00 AM.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- EXPANSION OR REDEVELOPMENT ACTIVITIES SHALL REQUIRE AN AMENDED STORMWATER PLAN AND SHALL NOT INFILTRATE STORMWATER THROUGH AREAS CONTAINING CONTAMINATED SOILS WITHOUT COMPLETING A PHASE 1 ASSESSMENT IN CONFORMANCE WITH ASTM E 1527-05, ALSO REFERRED TO AS ALL APPROPRIATE INQUIRY (AAI).
- ANIMAL MANURES, FERTILIZERS, AND COMPOST MUST BE STORED IN ACCORDANCE WITH THE MANUAL OF BEST MANAGEMENT PRACTICES FOR AGRICULTURE IN NEW HAMPSHIRE, NH DEPARTMENT OF AGRICULTURE, MARKETS, AND FOOD (JUNE 2011), AND SUBSEQUENT REVISIONS.
- ALL REGULATED SUBSTANCES STORED IN CONTAINERS WITH A CAPACITY OF MORE THAN 5 GALLONS MUST BE STORED IN PRODUCT-TIGHT CONTAINERS ON AN IMPERVIOUS SURFACE DESIGNED AND MAINTAINED TO PREVENT FLOW TO EXPOSED SOILS, FLOOR DRAINS, AND OUTSIDE DRAINS.
- FACILITIES WHERE REGULATED SUBSTANCES ARE STORED MUST BE SECURED AGAINST UNAUTHORIZED ENTRY BY MEANS OF A DOOR(S) AND/OR GATE(S) WHICH ARE LOCKED WHEN AUTHORIZED PERSONNEL ARE NOT PRESENT AND MUST BE INSPECTED WEEKLY BY THE FACILITY OWNER
- OUTDOOR STORAGE AREAS FOR REGULATED SUBSTANCES, ASSOCIATED MATERIAL OR WASTE MUST BE PROTECTED FROM EXPOSURE TO PRECIPITATION AND MUST BE LOCATED AT LEAST 75 FEET FROM SURFACE WATER OR STORM DRAINS, WETLANDS, PRIVATE WELLS AND OUTSIDE THE SANITARY PROTECTIVE RADIUS OF WELLS USED BY PUBLIC WATER SYSTEMS.
- SECONDARY CONTAINMENT MUST BE PROVIDED FOR OUTDOOR STORAGE OF REGULATED SUBSTANCES IF AN AGGREGATE OF MORE THAN 275 GALLONS OF REGULATED SUBSTANCES ARE STORED OUTDOORS ON ANY PARTICULAR PROPERTY.
- CONTAINERS IN WHICH REGULATED SUBSTANCES ARE STORED MUST BE CLEARLY AND VISIBLY LABELED AND MUST BE KEPT CLOSED AND SEALED WHEN MATERIAL IS NOT BEING TRANSFERRED FROM ONE CONTAINER TO ANOTHER.
- PRIOR TO ANY LAND DISTURBING ACTIVITIES, ALL INACTIVE WELLS ON THE PROPERTY, NOT IN USE OR PROPERLY MAINTAINED AT THE TIME THE PLAN IS SUBMITTED, SHALL BE CONSIDERED ABANDONED AND MUST BE SEALED IN ACCORDANCE WITH WE 604 OF THE NEW HAMPSHIRE WATER WELL BOARD RULES.
- THE PROPOSED DEVELOPMENT DOES NOT VIOLATE THE RULES AND REGULATIONS OF CHAPTER 485-C, GROUNDWATER PROTECTION ACT, WITH REGARD TO GROUNDWATER AND SHALL MEET THE REQUIREMENTS OF SECTION 5.06 OF SITE PLAN REGULATIONS.
- ALL GENERAL-PURPOSE FLOOR DRAINS BE CONNECTED TO THE ONSITE EFFLUENT DISPOSAL SYSTEM IN ACCORDANCE WITH SECTION 5.006.03.F.V OF THE SITE PLAN REGULATIONS.
- PRIOR TO THE OPENING OF THE RESTAURANT, SILVER FOX LANE WILL BE PAVED WITH THE TOP COAT OF PAVEMENT AND THE DRAINAGE STRUCTURE RIMS WILL BE SET FLUSH WITH THE PAVEMENT.
- HOURS OF OPERATION:
MON - SUN = 6 AM - 9 PM
- A SUPRA SAFE BOX MUST BE PLACED AT THE FRONT OF THE BUILDING WITH ALL TENANTS KEYS IN CASE OF AN EMERGENCY.



APPROVED - RAYMOND, NH
PLANNING BOARD

DATE: _____

PROJECT PARCEL
TOWN OF RAYMOND
TAX MAP 29-3, LOT 42-1

TOTAL LOT AREA
113,488 SQ. FT.
2.61 ACRES

Design: JAC Draft: ERE Date: 2/3/22
Checked: JAC Scale: AS SHOWN Project No.: 14163.7
Drawing Name: 14163-PLAN-STARBUCKS.dwg

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REV.	DATE	REVISION	BY
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1	11/18/21	ISSUED FOR REVIEW	ERE
0	6/22/21	ISSUED FOR REVIEW	DJM

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. 603-772-4746
PO Box 219 FAX: 603-772-0227
Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

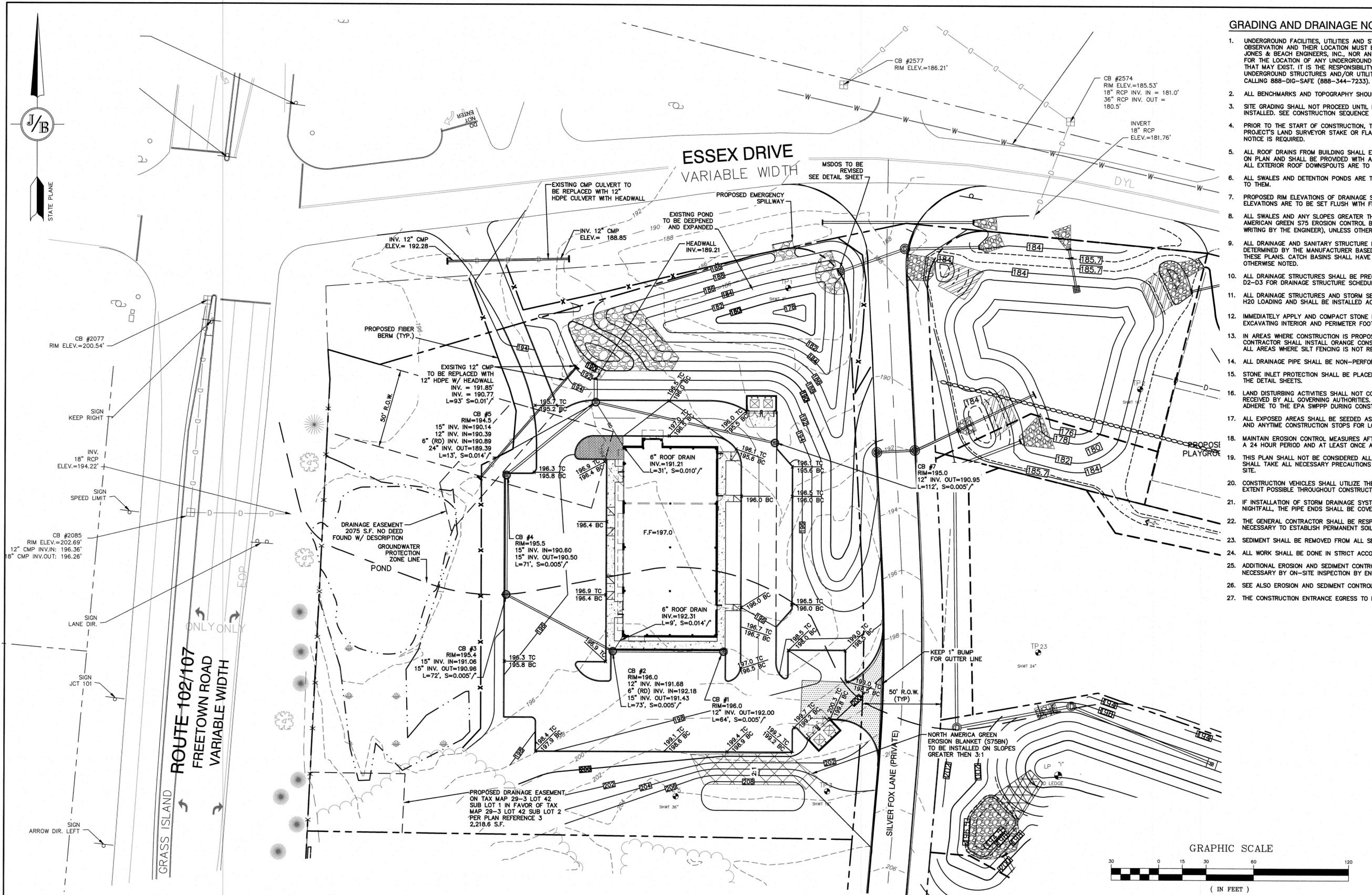
Plan Name: **SITE PLAN**

Project: **STARBUCKS
1 SILVER FOX LANE, RAYMOND, NH 03077**

Owner of Record: **RYE HARBOR REALTY, LLC
149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019**

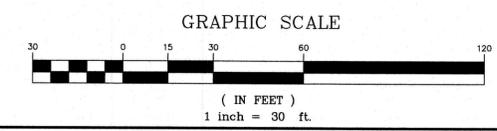
DRAWING No. **C2**

SHEET 3 OF 14
JBE PROJECT NO. 14163.7



GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3' DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEET D2-D3 FOR DRAINAGE STRUCTURE SCHEDULE AND SHEET D3 FOR DRAINAGE DETAILS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING AND ANYTIME CONSTRUCTION STOPS FOR LONGER THAN 3 DAYS.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- THE CONSTRUCTION ENTRANCE EGRESS TO BE ON SILVER FOX LANE ONLY.



PROJECT PARCEL
TOWN OF RAYMOND
TAX MAP 29-3, LOT 42-1

TOTAL LOT AREA
113,488 SQ. FT.
2.61 ACRES

Design: JAC Draft: ERE Date: 2/3/22
 Checked: JAC Scale: AS SHOWN Project No.: 14163.7
 Drawing Name: 14163-PLAN-STARBUCKS.dwg

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REV.	DATE	REVISION	BY
2	1/12/22	REVISED PER TOWN ENGINEERS COMMENTS	ERE
1	11/18/21	ISSUED FOR REVIEW	ERE
0	6/22/21	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

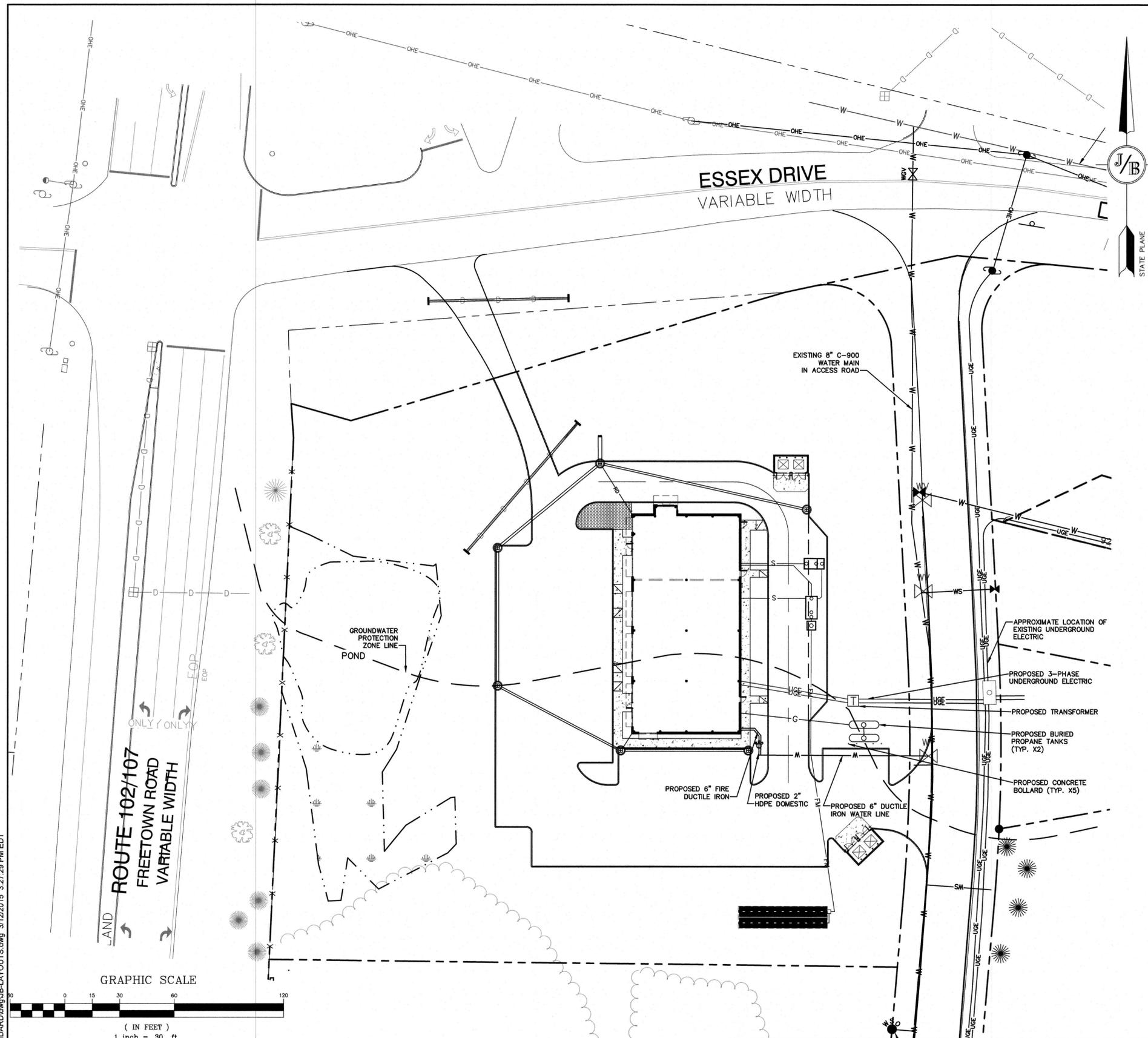
Plan Name: **GRADING AND DRAINAGE PLAN**

Project: **STARBUCKS
1 SILVER FOX LANE, RAYMOND, NH 03077**

Owner of Record: **RYE HARBOR REALTY, LLC
149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019**

DRAWING No. **C3**

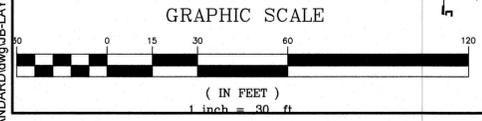
SHEET 4 OF 14
 JBE PROJECT NO. 14163.7



UTILITY NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
4. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
6. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
7. BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
9. AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
10. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA, CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
11. CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGNATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
12. PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
13. WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMANS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICH EVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 600. WATERMANS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
14. ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
15. IF THE BUILDING IS REQUIRED TO HAVE A SPRINKLER SYSTEM, A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, ARCHITECT AND THE LOCAL FIRE DEPARTMENT PRIOR TO THE INSTALLATION.
16. DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
17. THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
18. CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
19. EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
20. ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
21. ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END AT RIGHT OF WAY AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
22. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
23. EACH UNIT'S WATER USAGE SHALL BE METERED.
24. IF THE BUILDING IS EVER CONDOMINIUMIZED A WATER SHUT OFF MUST BE ON EACH UNIT.

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PROJECT PARCEL
TOWN OF RAYMOND
TAX MAP 29-3, LOT 42-1

TOTAL LOT AREA
113,488 SQ. FT.
2.61 ACRES

Design: JAC	Draft: ERE	Date: 2/3/22
Checked: JAC	Scale: AS SHOWN	Project No.: 14163.7
Drawing Name: 14163-PLAN-STARBUCKS.dwg		
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0	6/22/21	ISSUED FOR REVIEW	DJM

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J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

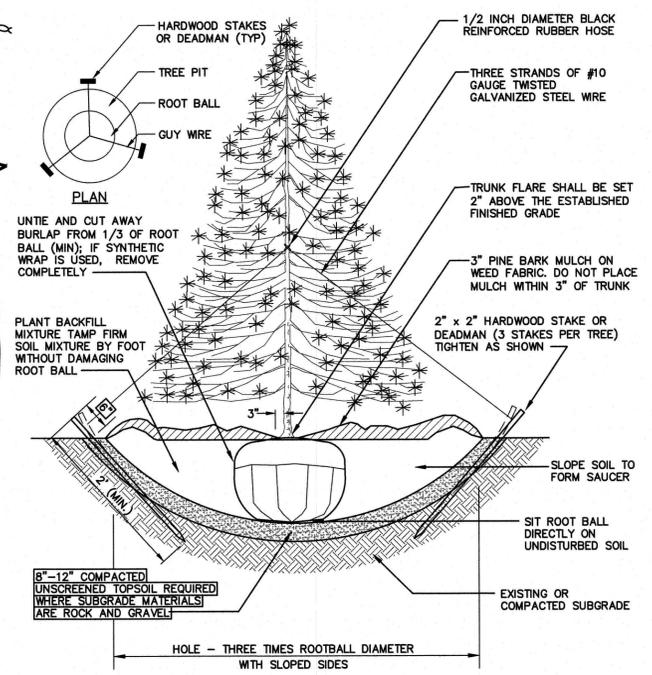
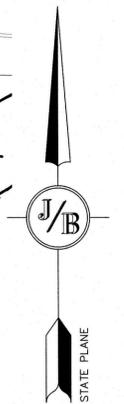
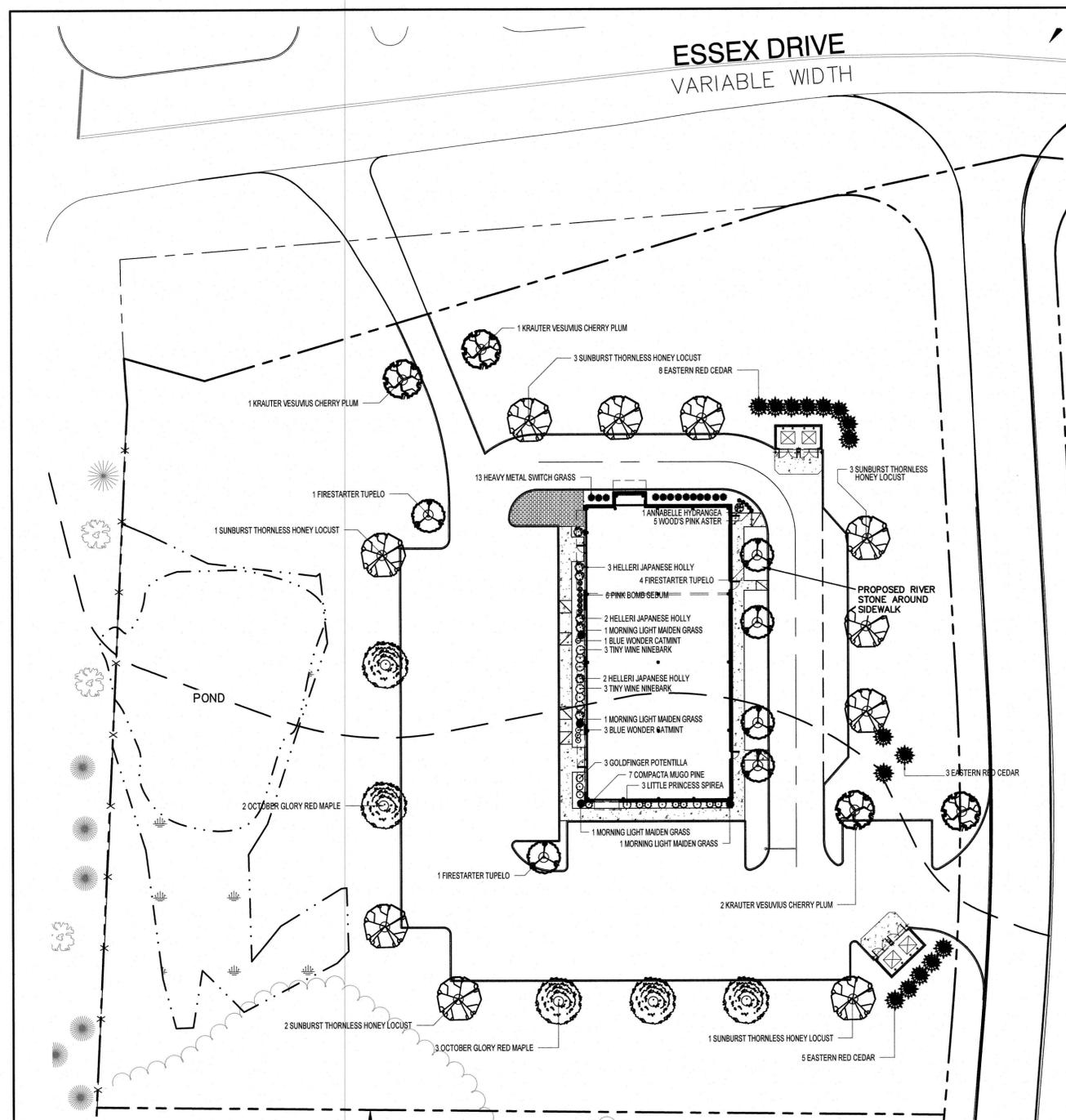
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	UTILITY PLAN
Project:	STARBUCKS 1 SILVER FOX LANE, RAYMOND, NH 03077
Owner of Record:	RYE HARBOR REALTY, LLC 499 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

DRAWING No.

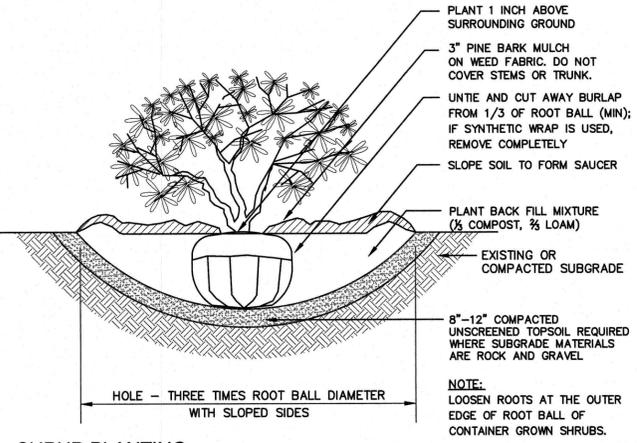
C4

SHEET 5 OF 14
JBE PROJECT NO. 14163.7



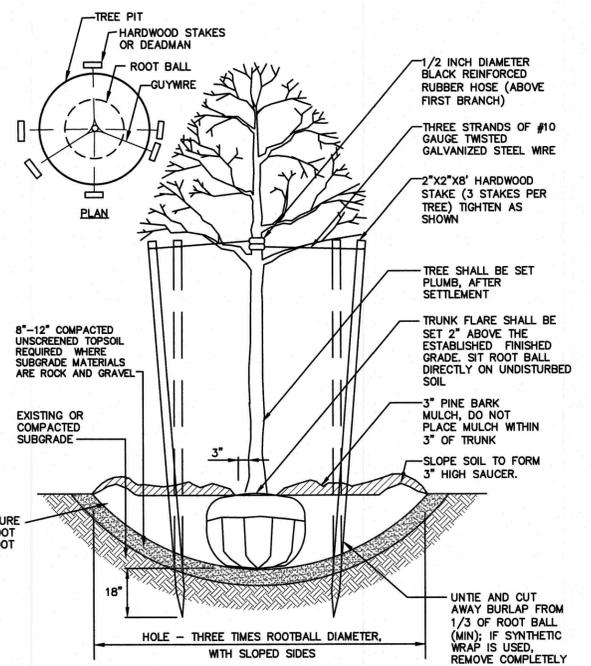
EVERGREEN PLANTING

NOT TO SCALE



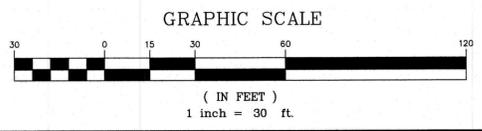
SHRUB PLANTING

NOT TO SCALE



TREE PLANTING (FOR TREES UNDER 4" CALIPER)

NOT TO SCALE



Quantity	Botanical Name	Common Name	Size	Comments
5	Acer rubrum 'October Glory'	OCTOBER GLORY RED MAPLE	2.5" Caliper	
10	Gleditsia triacanthos f. inermis 'Sunburst'	SUNBURST HONEY LOCUST	2.5" Caliper	
16	Juniperus virginiana	EASTERN RED CEDAR	8 Ft. Ht.	Space 7 ft. apart
6	Nyssa sylvatica 'Firestarter'	FIRESTARTER TUPELO	2" Caliper	
4	Prunus cerasifera 'Krauter Vesuvius'	KRAUTER VESUVIUS CHERRY PLUM	2" Caliper	
1	Hydrangea arborescens 'Annabelle'	ANNABELLE HYDRANGEA	3 Gallon	
7	Ilex crenata 'Helleri'	HELLERI JAPANESE HOLLY	5 Gallon	Space 4 ft. apart
6	Physocarpus opulifolius 'Tiny Wine'	TINY WINE NINEBARK	3 Gallon	Space 4 ft. apart
7	Pinus mugo 'Compacta'	COMPACTA MUGO PINE	3 Gallon	Space 3 ft. apart
3	Potentilla fruticosa 'Goldfinger'	GOLDFINGER POTENTILLA	3 Gallon	Space 3 ft. apart
3	Spiraea japonica 'Little Princess'	LITTLE PRINCESS SPIREA	3 Gallon	
5	Aster dumosum 'Wood's Pink'	WOOD'S PINK ASTER	1 Gallon	Space 2 ft. apart
4	Miscanthus sinensis 'Morning Light'	MORNING LIGHT MAIDEN GRASS	2 Gallon	
4	Nepeta x faassenii 'Blue Wonder'	BLUE WONDER CATMINT	2 Gallon	Space 2 ft. apart
13	Panicum virgatum 'Heavy Metal'	HEAVY METAL SWITCH GRASS	1 Gallon	Space 3 ft. apart
6	Sedum 'Pink Bomb'	PINK BOMB SEDUM	1 Gallon	Space 2 ft. apart

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL.
5. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING FOR CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
6. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
7. ALL WORK AND PLANTS SHALL BE DONE, INSTALLED AND DETAILED IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
8. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
9. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
10. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
11. THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE. GRASS SEED OR PINE BARK MULCH SHALL BE APPLIED AS DEPICTED ON PLANS.
12. FINISHED GRADES IN LANDSCAPED ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" HIGHER THAN THE TOP OF THE SURROUNDING CURB.
13. ALL LANDSCAPING SHALL MEET THE TOWN STANDARDS AND REGULATIONS.
14. THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.
15. IRRIGATION PIPING SYSTEM SHALL BE REVIEWED AND APPROVED BY OWNER AND ENGINEER PRIOR TO INSTALLATION.

Design: JAC Draft: ERE Date: 2/3/22
 Checked: JAC Scale: AS SHOWN Project No.: 14163.7
 Drawing Name: 14163-PLAN-STARBUCKS.dwg
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0	6/22/21	ISSUED FOR REVIEW	DJM

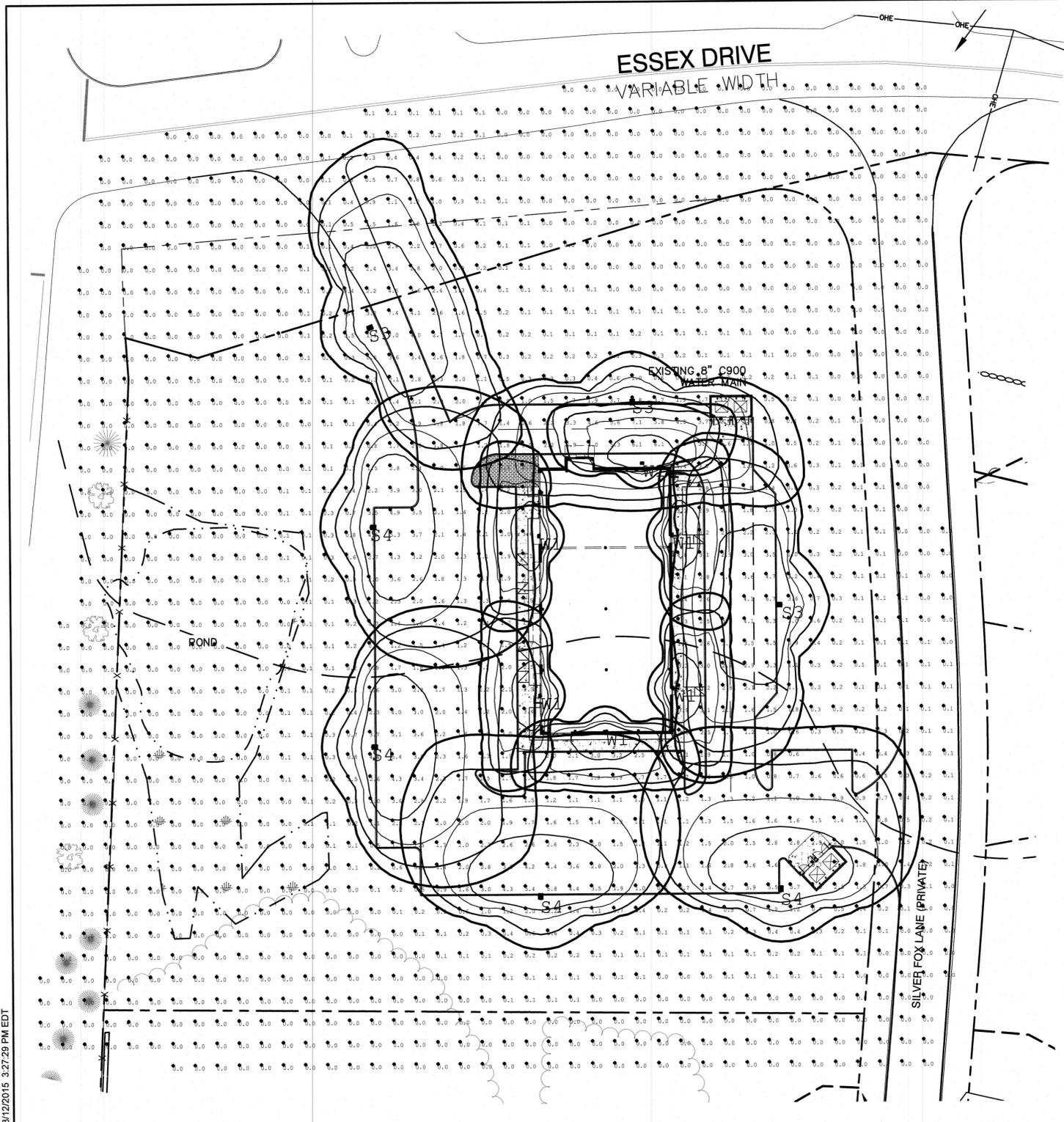
Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
 85 Portsmouth Ave. 603-772-4746
 PO Box 219 FAX: 603-772-0227
 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LANDSCAPE PLAN**
 Project: **STARBUCKS**
1 SILVER FOX LANE, RAYMOND, NH 03077
 Owner of Record: **RYE HARBOR REALTY, LLC**
 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

DRAWING No.
L1
 SHEET 6 OF 14
 JBE PROJECT NO. 14163.7

PROJECT PARCEL
 TOWN OF RAYMOND
 TAX MAP 29-3, LOT 42-1
 TOTAL LOT AREA
 113,488 SQ. FT.
 2.61 ACRES

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LIGHTING AND ELECTRICAL NOTES:

1. SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
2. CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO TOWN REGULATIONS.
3. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER TOWN REGULATIONS.
4. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
5. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
6. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
7. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

Missing or invalid reference
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 Sheet: 1

Missing or invalid reference
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 Sheet: 1

PROJECT PARCEL
 TOWN OF RAYMOND
 TAX MAP 29-3, LOT 42-1

TOTAL LOT AREA
 113,488 SQ. FT.
 2.61 ACRES

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.

Design: JAC Draft: ERE Date: 2/3/22
 Checked: JAC Scale: AS SHOWN Project No.: 14163.7
 Drawing Name: 14163-PLAN-STARBUCKS.dwg
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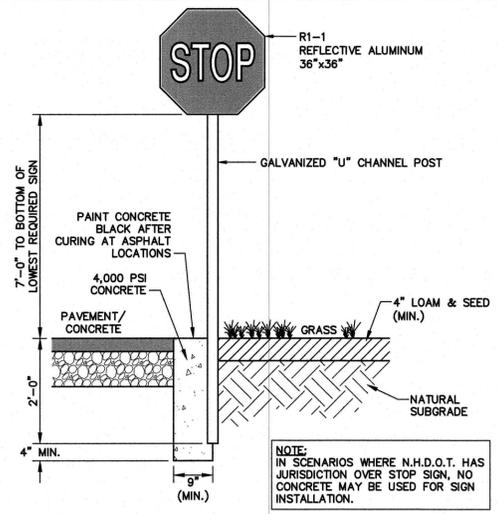
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	LIGHTING PLAN
Project:	STARBUCKS 1 SILVER FOX LANE, RAYMOND, NH 03077
Owner of Record:	RYE HARBOR REALTY, LLC 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

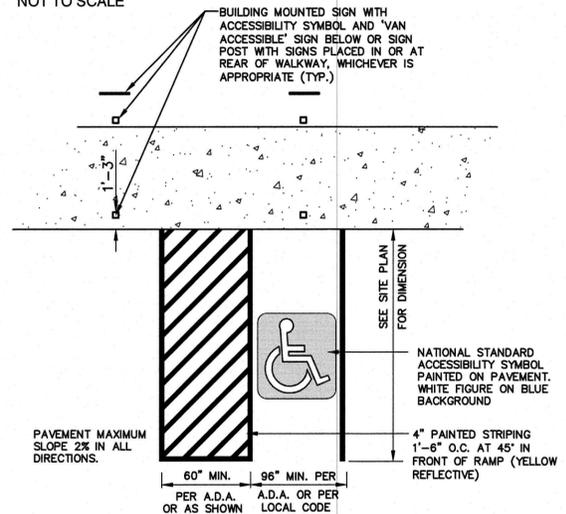
DRAWING No.
L2
 SHEET 7 OF 14
 JBE PROJECT NO. 14163.7

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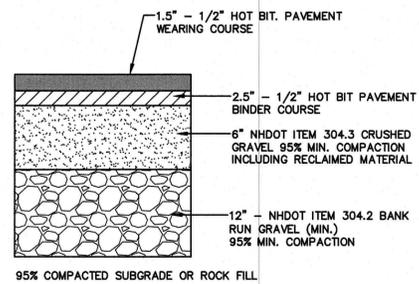
STOP SIGN (R1-1)

NOT TO SCALE



HANDICAP PARKING LAYOUT

NOT TO SCALE



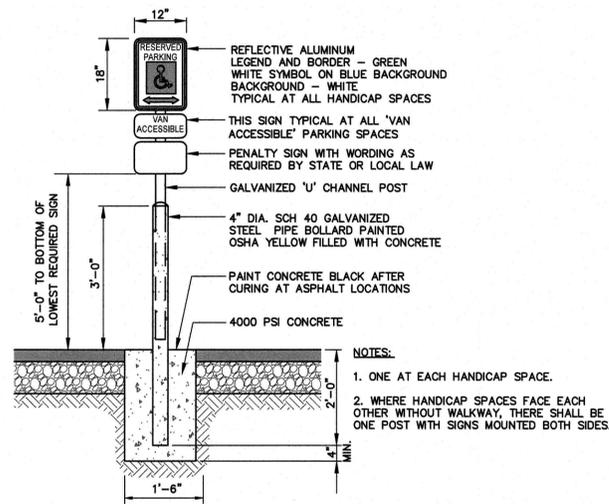
NOTES:

1. LOAM AND/OR UNSTABLE MATERIAL SHALL BE REMOVED TO A SOLID BASE MATERIAL.
2. COMPACTION SHALL BE PERFORMED TO 95% OF THE MATERIAL' MODIFIED PROCTOR VALUE.

TYPICAL BITUMINOUS PAVEMENT

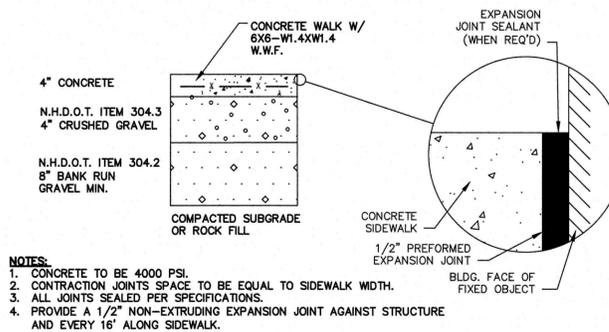
NOT TO SCALE

TRAFFIC CONTROL SCHEDULE						
SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT	REMARKS
R1-1	STOP	30" 30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R5-1	NO LEFT TURN	30" 30"	RED / SILVER	CHANNEL	7'-0"	REFLECTORIZED SIGN
R6-2	ONE WAY	18" 24"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8	HANDICAP	12" 24"	BLUE & GREEN ON WHITE	CHANNEL	5'-0"	REFLECTORIZED SIGN
	ENTER HERE	18" 24"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
	ONE WAY	18" 24"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
EMPLOYEE PARKING	EMPLOYEE PARKING	12" 12"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN



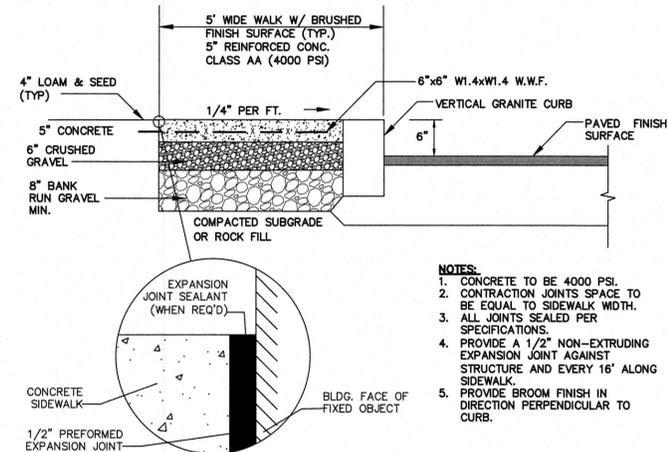
HANDICAP PARKING SIGN (R7-8)

NOT TO SCALE



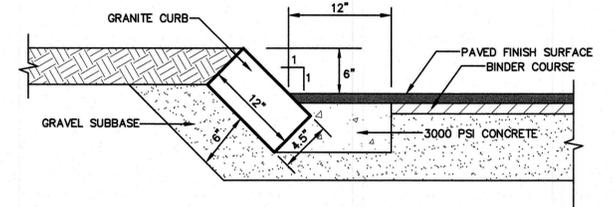
CONCRETE SIDEWALK

NOT TO SCALE



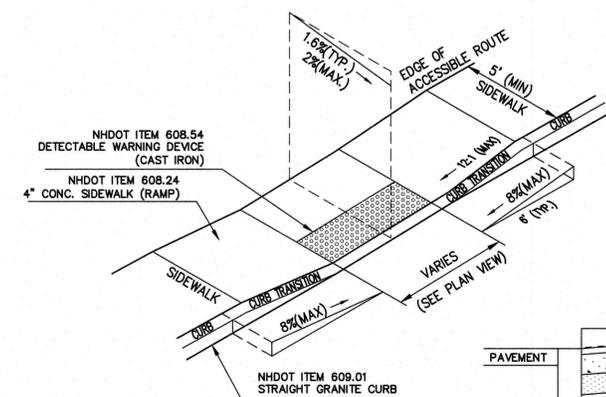
CONCRETE SIDEWALK W/ VERTICAL GRANITE CURB

NOT TO SCALE



SLOPED GRANITE CURB

NOT TO SCALE



ACCESSIBLE CURB RAMP (TYPE 'A')

NOT TO SCALE

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Design: JAC	Draft: ERE	Date: 2/3/22
Checked: JAC	Scale: AS NOTED	Project No.: 14163.7
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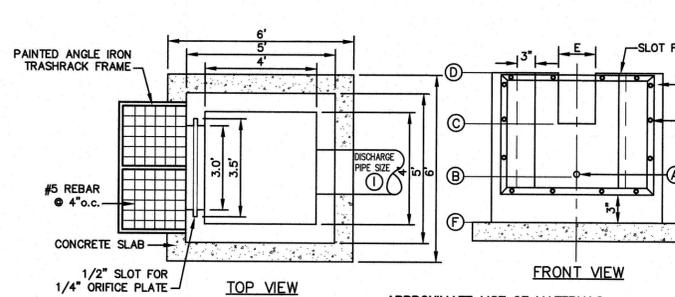
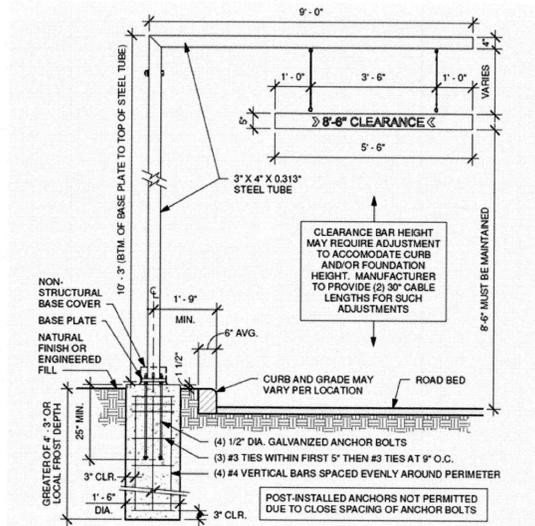
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	STARBUCKS 1 SILVER FOX LANE, RAYMOND, NH 03077
Owner of Record:	RYE HARBOR REALTY, LLC 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

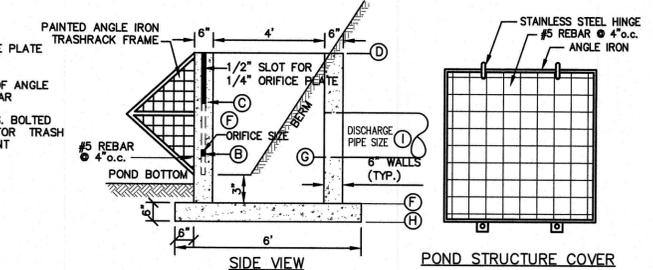
DRAWING No.

D1

SHEET 8 OF 14
JBE PROJECT NO. 14163.7



- APPROXIMATE LIST OF MATERIALS**
- 3 C.Y. - 5000 PSI CONCRETE
 - 15 ANGLE IRONS @ 4' LENGTH
 - REQUIRED S.S. BOLTS AND FASTENERS
 - 1/4" STEEL PLATE WITH DRILLED ORIFICES
 - 1 C.Y. - CRUSHED STONE FOR BASE
 - 48 #5 REBARS @ 1', 2' AND 3' LENGTHS
 - 32 #4 REBARS @ 4.5' LENGTH



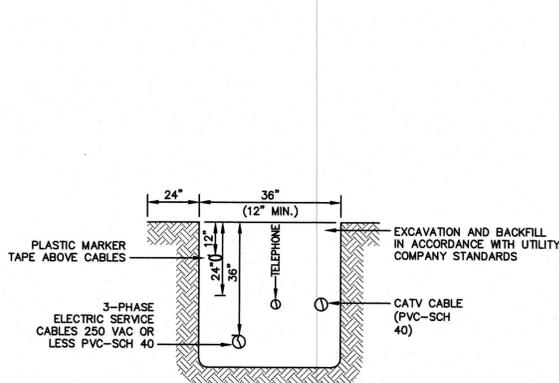
	A	B	C	D	E	F	G	H	I	
MSDOS	7.9'	183.5	185.65	187.0	18'	10.2' HEIGHT	182.5	183.5	182.0	24'

- NOTES:**
- REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZONTAL AND VERTICAL PLACED #4 REBAR @ 12" O.C.
 - CONCRETE BOX TO BE CONSTRUCTED OR PRECAST OF EQUAL DIMENSIONS AND REINFORCING.
 - CONCRETE SLAB TO BE CONSTRUCTED ALONG WITH BASE. FOR PRECAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
 - SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WATERTIGHT WITH MORTAR BY CONTRACTOR.

MULTI-STAGE DISCHARGE OUTLET STRUCTURE (MSDOS)

NOT TO SCALE

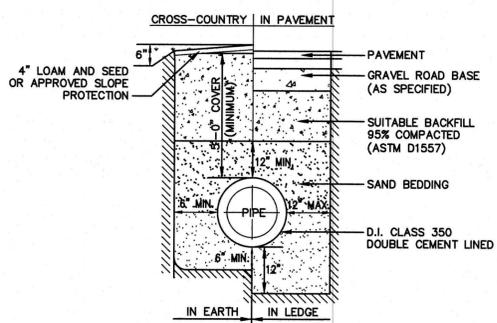
- ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
- TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HENNIKER, N.H., (1-603-428-3218) OR EQUAL.
- STRUCTURE TO HAVE TEMPORARY PLYWOOD INSTALLED IN THE ORIFICE PLATE SLOT UNTIL THE SITE IS STABILIZED.
- STRUCTURE IS TO BE DESIGNED FOR H2O LOADING.
- SOIL UNDERLYING THE STRUCTURE IS TO BE COMPACTED TO 95% MODIFIED PROCTOR.



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

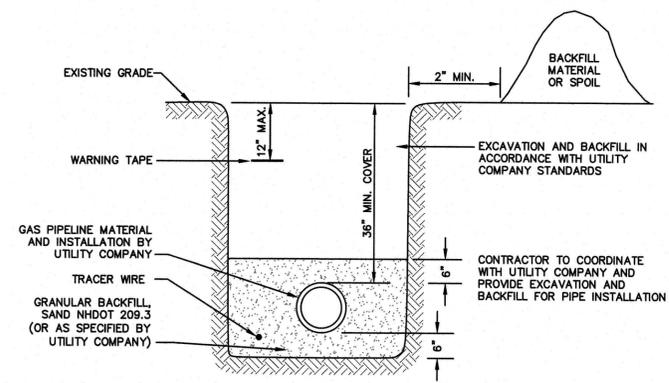
UTILITY TRENCH

NOT TO SCALE



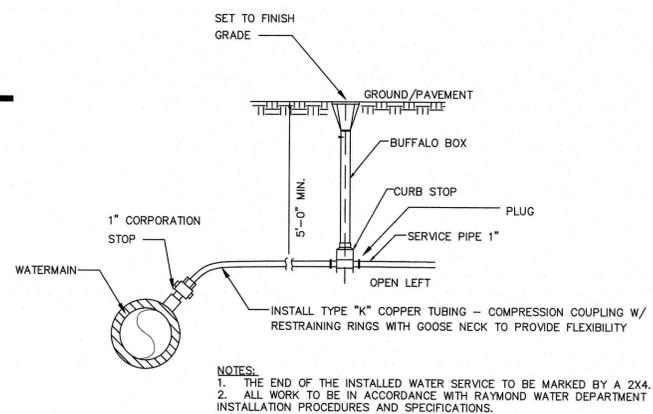
WATER SYSTEM TRENCH

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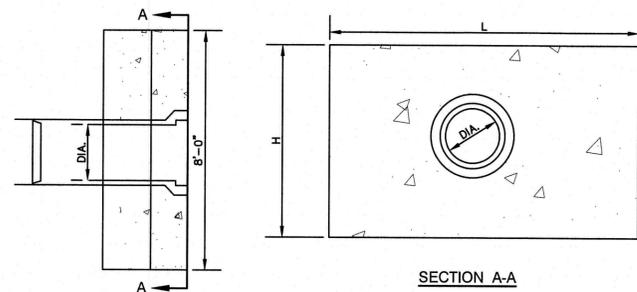
GAS TRENCH

NOT TO SCALE

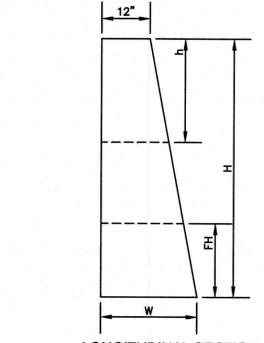


TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE



SECTION A-A



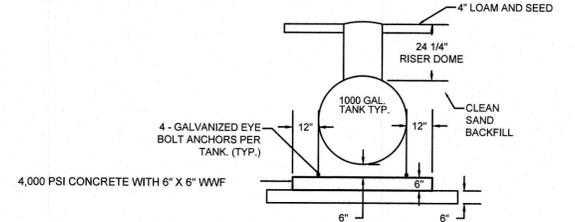
LONGITUDINAL SECTION

DIA.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH
D	L	H	FH	h	W
12"	4'-2"	3'-9"	1'-6"	1'-3"	1'-11"
15"	5'-11"	4'-2"	1'-6"	1'-5"	2'-0"
18"	6'-11"	4'-5"	1'-6"	1'-5"	2'-1"
24"	8'-10"	4'-11"	1'-6"	1'-5"	2'-3"

- NOTES:**
- ALL DIMENSIONS GIVEN IN FEET & INCHES.
 - PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
 - CONCRETE: 5000 PSI MINIMUM AFTER 28 DAYS. CEMENT TO BE TYPE III PER ASTM C-150. REINFORCING TO MEET OR EXCEED ASTM A-615 GRADE 60 DEFORMED BARS.
 - 1" THREADED INSERTS PROVED FOR FINAL ATTACHMENT IN FIELD BY OTHERS.

PRECAST CONCRETE HEADWALL

NOT TO SCALE

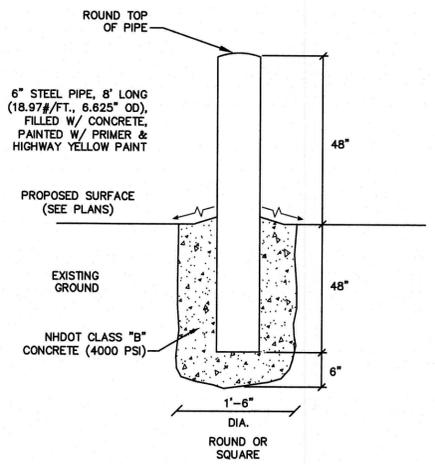


NOTES:

- GROUND SHOULD BE SLOPED AWAY FROM TANKS IN ALL DIRECTIONS TO AVOID ICE BUILDUP AND SNOW STORAGE SHOULD NOT BE PLACED ON TOP OF PROPANE FIELD.
- PROPANE TANK SUPPLIER SHALL SUPPLY TANK ANCHORS, ANCHOR STRAPS AND ANODE BAGS. SITE CONTRACTOR WILL BE RESPONSIBLE FOR EXCAVATION, CONCRETE PAD, ANCHOR SET AND BACKFILL.
- PROPANE TANK SUPPLIER'S INSTALLATION GUIDELINES TO OVERRIDE TYPICAL DETAIL.

UNDER GROUND PROPANE TANK PAD DETAIL

NOT TO SCALE



BOLLARD DETAIL

NOT TO SCALE

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Design: JAC	Draft: ERE	Date: 2/3/22
Checked: JAC	Scale: AS NOTED	Project No.: 14163.7
Drawing Name: 14163-PLAN-STARBUCKS.dwg		

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1	11/18/21	ISSUED FOR REVIEW	ERE
0	6/22/21	ISSUED FOR REVIEW	DJM

Designed and Produced in NH

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Civil Engineering Services

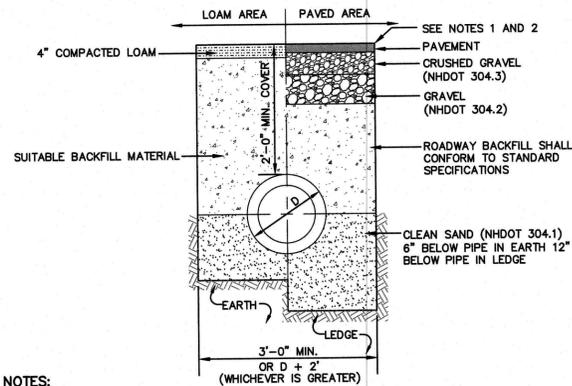
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	STARBUCKS 1 SILVER FOX LANE, RAYMOND, NH 03077
Owner of Record:	RYE HARBOR REALTY, LLC 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

DRAWING No.

D2

SHEET 9 OF 14
JBE PROJECT NO. 14163.7

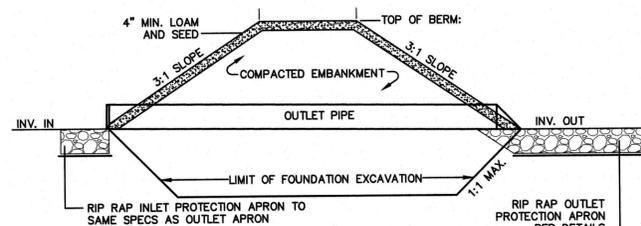


NOTES:

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
3. ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

DRAINAGE TRENCH

NOT TO SCALE

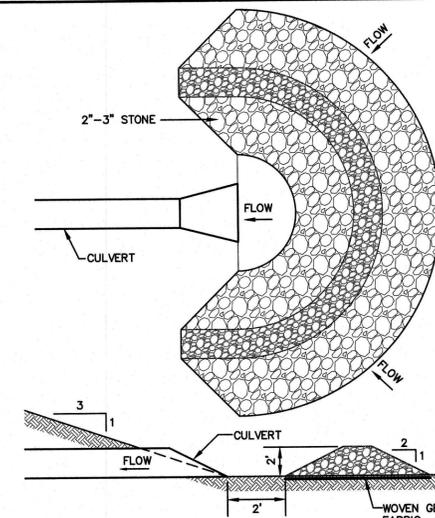


NOTES:

1. THE ENTIRE EMBANKMENT AREA OF THE DETENTION POND SHALL BE EXCAVATED TO A MINIMUM 2' BELOW BOTTOM INVERTS OF PIPE, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 92% OF ASTM D-1557, AND SCARIFIED PRIOR TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED FOR ANY REASON.
2. EMBANKMENT MATERIAL FOR THE BERM SHALL BE CLEAN SILTY-CLAY BORROW FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER THREE INCHES (3") IN DIAMETER. THIS MATERIAL SHOULD BE INSTALLED IN 6" LIFTS AND COMPACTED TO 92% OF ASTM D-1557, AND SHOULD MEET THE FOLLOWING SPECIFICATIONS: 6" PASSING 100% #4 SIEVE 95-100% #40 SIEVE 60-90% #100 SIEVE 40-60% #200 SIEVE 25-45% (OF THE FRACTION PASSING THE #4 SIEVE). THE CLAY COMPONENT SHALL HAVE A PLASTICITY INDEX OF AT LEAST 10 AND A HYDRAULIC CONDUCTIVITY OF 10 TO THE -6 CM/SEC.
3. EMBANKMENT IS TO BE BROUGHT TO SPECIFIED GRADES PRIOR TO THE ADDITION OF LOAM (4" MINIMUM) SO AS TO ALLOW FOR THE NATURAL COMPACTION OF THE STRUCTURE OVER TIME WHILE MAINTAINING THE PROPER BERM ELEVATION.
4. COMPACTION AND MATERIALS TESTING SERVICES ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE OWNER.

DETENTION POND BERM AND PRINCIPAL OUTLET

NOT TO SCALE

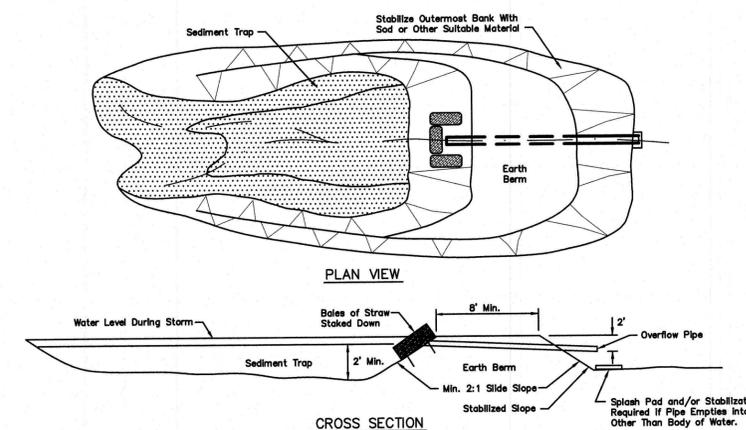


NOTES:

1. TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
2. INLET PROTECTION MEASURES SHALL BE INSTALLED AT THE OPENINGS OF ALL EXISTING AND PROPOSED CULVERTS LOCATED BELOW (DOWNSTREAM) FROM AND WITHIN 100' OF THE PROJECT SITE.
3. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
4. STRUCTURES SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH VEGETATION AND THE CHANNEL SHALL BE SMOOTHED AND REVEGETATED.

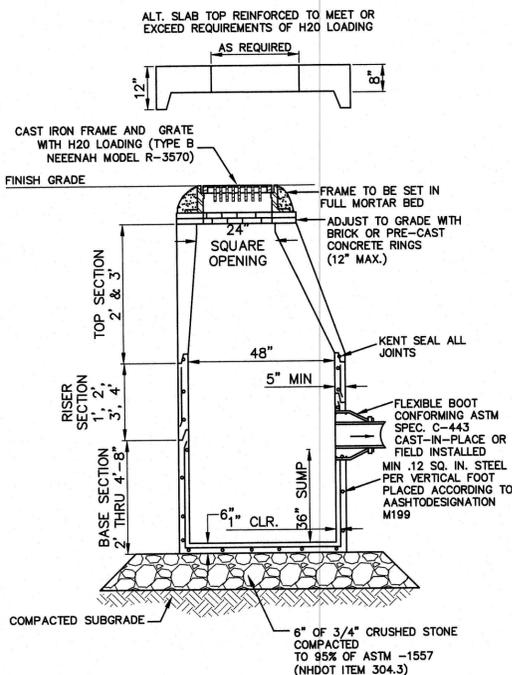
TEMPORARY CULVERT INLET PROTECTION CHECK DAM

NOT TO SCALE



TEMPORARY SEDIMENT BASIN

NOT TO SCALE



NOTES:

1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
5. PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
7. ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
8. STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED, ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

CATCH BASIN

NOT TO SCALE

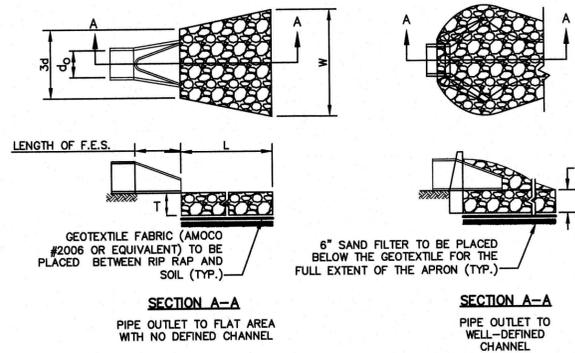


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

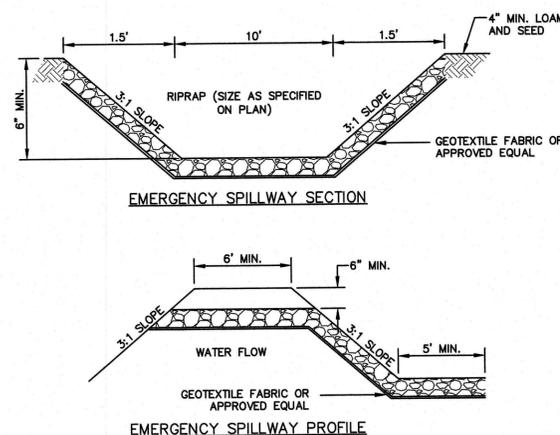
THICKNESS OF RIP RAP = 1.5 FEET		
d50 SIZE=	0.50 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

NOTES:

1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
6. **MAINTENANCE:** THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

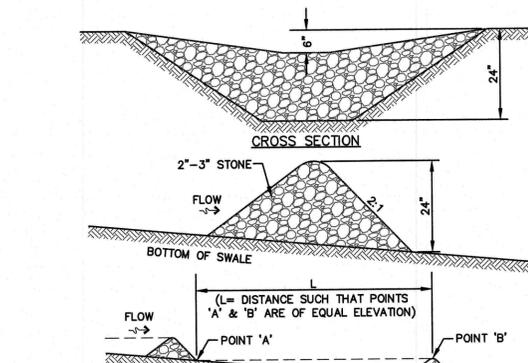
RIP RAP OUTLET PROTECTION APRON

NOT TO SCALE



EMERGENCY SPILLWAY

NOT TO SCALE

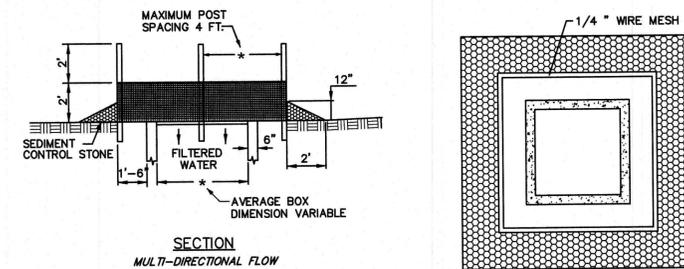


MAINTENANCE NOTE:

1. STONE CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDING AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

STONE CHECK DAM

NOT TO SCALE



NOTES:

1. SEDIMENT CONTROL STONE SHALL BE 3/4" WASHED STONE.
2. WIRE MESH SHALL BE HARDWARE CLOTH 23 GAUGE MIN. AND SHALL HAVE 1/4" MESH OPENINGS.
3. TOP OF WIRE MESH SHALL BE A MINIMUM OF ONE FOOT BELOW THE SHOULDER OR ANY DIVERSION POINT.
4. STEEL POST SHALL BE 5 FT. IN HEIGHT, BE INSTALLED 1.5 FT. DEEP MINIMUM, AND BE OF THE SELF-FASTENER ANGLE TYPE.
5. WOOD POST SHALL BE 6 FT. IN HEIGHT, BE INSTALLED TO 1.5 FT. DEEP MINIMUM, AND BE 3 INCHES IN DIAMETER.
6. POST SPACING SHALL BE A MAXIMUM OF 4 FT.

INLET PROTECTION

NOT TO SCALE

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Drawing Name: 14183-PLAN-STARBUCKS.dwg		
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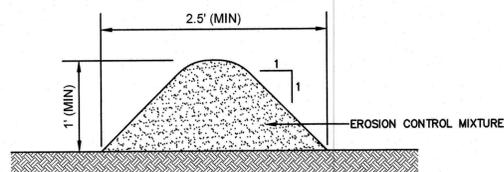
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	STARBUCKS 1 SILVER FOX LANE, RAYMOND, NH 03077
Owner of Record:	RYE HARBOR REALTY, LLC 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

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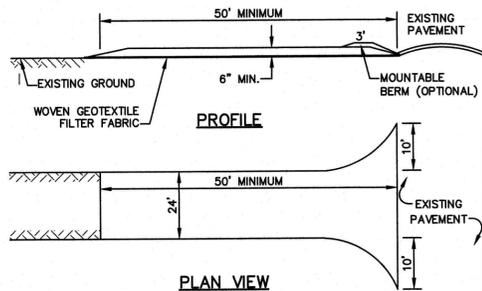


NOTES:

- ORGANIC FILTER BERMS MAY BE UTILIZED IN LIEU OF SILT FENCE, UNLESS OTHERWISE SPECIFIED.
- THE EROSION CONTROL MIX USED IN THE FILTER BERMS SHALL BE A WELL-GRADED MIXTURE OF PARTICLE SIZES, MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER, STUMP GRINDINGS, SHREDDED OR COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS, AND SHALL BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH, AND SHALL MEET THE FOLLOWING STANDARDS:
 - THE ORGANIC CONTENT SHALL BE 80-100% OF DRY WEIGHT.
 - PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN, AND 70-85% PASSING A 0.75" SCREEN.
 - THE ORGANIC PORTION SHALL BE FIBROUS AND ELONGATED.
 - LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS SHALL NOT BE INCLUDED IN THE MIXTURE.
 - SOLUBLE SALTS CONTENT SHALL BE >4.0mmhos/cm.
 - THE PH SHALL BE BETWEEN 5.0 AND 8.0.
- ORGANIC FILTER BERMS SHALL BE INSTALLED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BERM.
- ON SLOPES LESS THAN 5%, OR AT THE BOTTOM OF SLOPES STEEPER THAN 3:1, UP TO 20' LONG, THE BERM SHALL BE A MINIMUM OF 12" HIGH (AS MEASURED ON THE UPHILL SIDE), AND A MINIMUM OF 36" WIDE. ON LONGER OR STEEPER SLOPES, THE BERM SHALL BE WIDER TO ACCOMMODATE THE POTENTIAL ADDITIONAL RUNOFF.
- FROZEN GROUND, OUTCROPS OF BEDROCK, AND VERY ROOTED FORESTED AREAS PRESENT THE MOST PRACTICAL AND EFFECTIVE LOCATIONS FOR ORGANIC FILTER BERMS. OTHER BMP'S SHOULD BE USED AT LOW POINTS OF CONCENTRATED RUNOFF, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS, AND AT THE BOTTOM OF STEEP PERIMETER SLOPES THAT HAVE A LARGE CONTRIBUTING AREA.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- STRUCTURES MAY BE LEFT IN PLACE ONCE THE SITE IS STABILIZED.

ORGANIC FILTER BERM

NOT TO SCALE

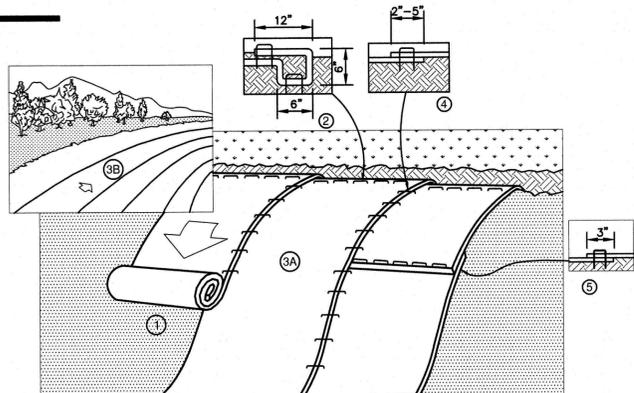


NOTES:

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR TO FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



NOTES:

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.



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 NORTH AMERICAN GREEN - S75BN (800) 772-2040

NOT TO SCALE

SEEDING SPECIFICATIONS

- GRADING AND SHAPING**
 - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
 - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNFETCH, BIRDSFOOT, TREFOL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
 - HAY, STRAW OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
 - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	GOOD
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	EXCELLENT	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.
 1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.
 2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR		
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

*

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES

TEMPORARY EROSION CONTROL NOTES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).
- PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
- IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
 - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE SITE SPECIFIC PERMIT ("PERMIT").
 - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/2 INCH OR GREATER RAIN EVENT (I.E. 1/2 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.
 - WITHIN 24 HOURS OF EACH INSPECTION, THE MONITOR SHALL SUBMIT A REPORT TO DES VIA EMAIL (RIDGELY MAUCK AT: RIDGELY.MAUCK@DES.NH.GOV).
 - THE MONITOR SHALL MEET WITH DES TO DECIDE UPON A REPORT FORMAT. THE REPORT FORMAT SHALL BE REVIEWED AND APPROVED BY DES PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION SEQUENCE

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION. AT LEAST A TEMPORARY CULVERT OR ROADBED TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
- STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS AND SOUND WALLS.
- PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- INSTALL INLET PROTECTION AT ALL CATCH BASINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF 'SELECT' SUBGRADE MATERIALS.
- PAVE ALL PARKING LOTS AND ROADWAYS WITH INITIAL 'BASE COURSE'.
- PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH 'FINISH' COURSE.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

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Design: JAC	Draft: ERE	Date: 2/3/22
Checked: JAC	Scale: AS NOTED	Project No.: 14163.7
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1	11/18/21	ISSUED FOR REVIEW	ERE
0	6/22/21	ISSUED FOR REVIEW	DJM

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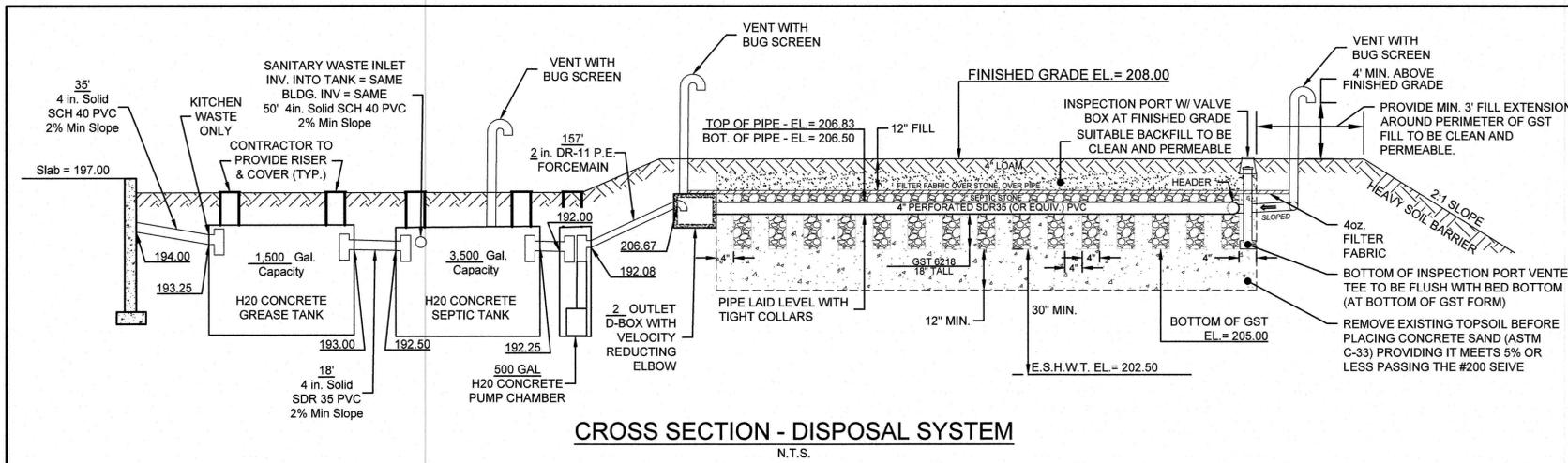
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	STARBUCKS 1 SILVER FOX LANE, RAYMOND, NH 03077
Owner of Record:	RYE HARBOR REALTY, LLC 49 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

DRAWING No.	E1
SHEET 11 OF 14	JBE PROJECT NO. 14163.7



CROSS SECTION - DISPOSAL SYSTEM
N.T.S.

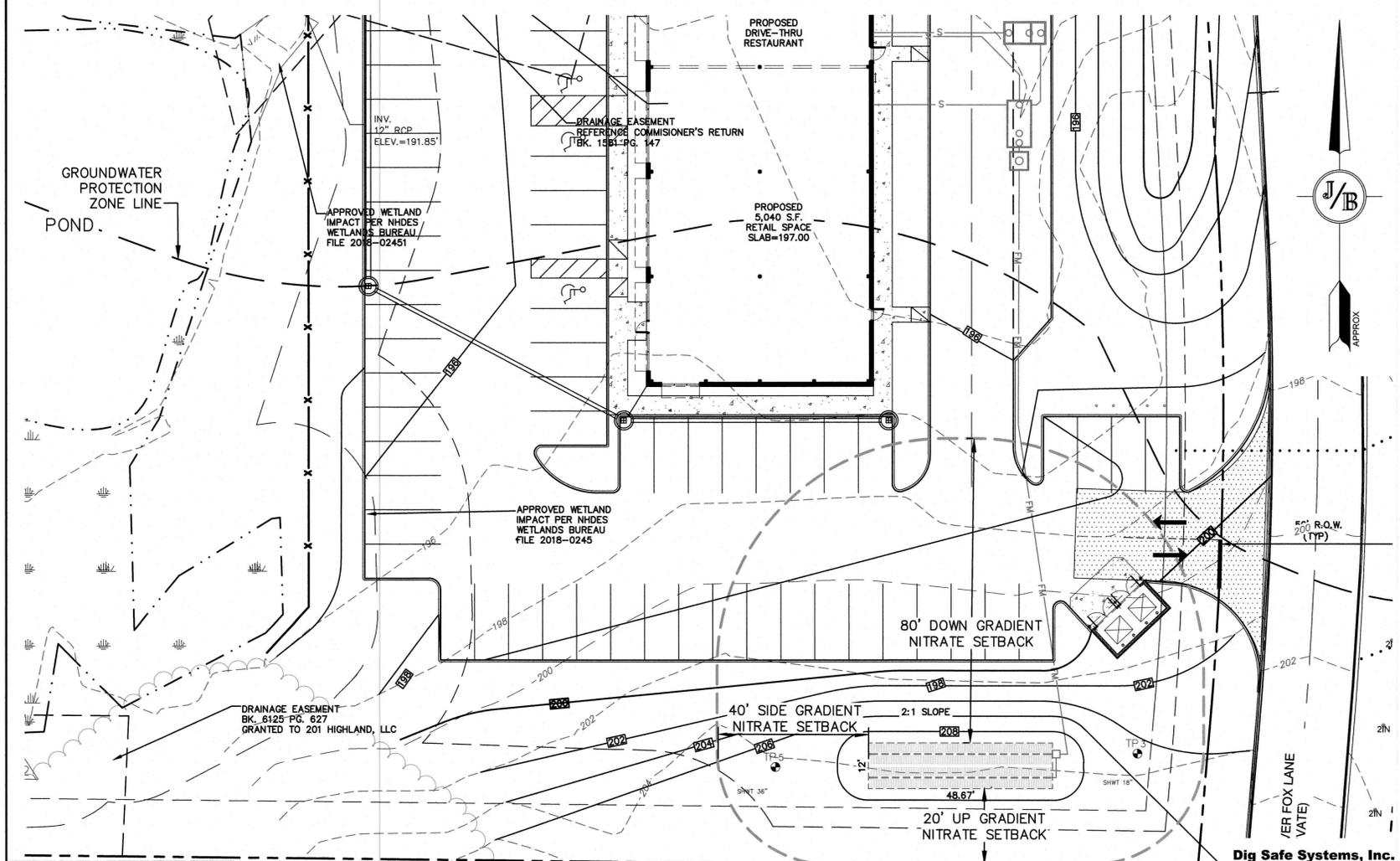
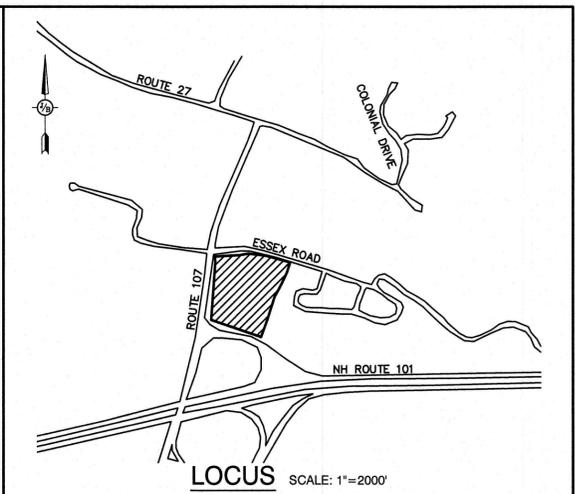
TEST PIT LOGS

PERFORMED BY: CHRISTOPHER ALBERT, JONES & BEACH ENGINEERS, INC. SSD# 1085
WITNESSED BY: DAVID HALL, RAYMOND BUILDING INSPECTOR / HEALTH OFFICER

TEST PIT #3	FOREST MAT	TEST PIT #5	FOREST MAT
0'-8"	10YR 3/3 FINE SANDY LOAM MANY ROOTS	0'-6"	10YR 4/3 FINE SANDY LOAM MANY ROOTS
8'-18"	10YR 5/6 LOAMY SAND FEW ROOTS, FILL	6'-24"	10YR 5/6 FINE SANDY LOAM FEW ROOTS, SMALL STONE GRANULAR, FRIABLE
18'-40"	2.5Y 7/2 MEDIUM SAND FILL	24'-60"	2.5Y 7/2 FINE SANDY LOAM FIRM, W/ STONES
40'-60"	3/4" OLD SEPTIC STONE		

SHWT = 18" ROOTS TO 18"
H₂O AT 48"
NO REFUSAL
● TEST PIT, DATE: JUN. 29, 2018
● PERC. TEST, DATE: JUN. 29, 2018

6 MIN./INCH



GEOMATRIX GST DESIGN CALCULATIONS

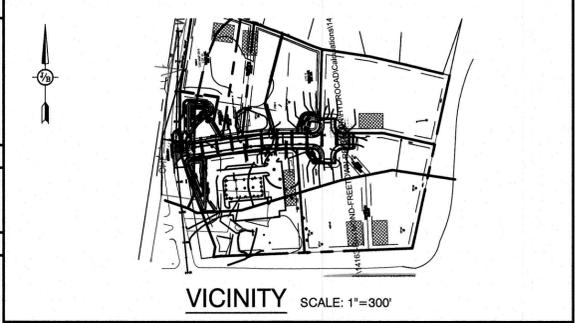
COMMERCIAL STORE, DRY GOODS (5,040 S.F. + 20 EMPLOYEES) = 452 GPD
PAPER FOOD SERVICE (45 SEATS + 10 EMPLOYEES) = 1,100 GPD

1,552 GPD @ 6 MIN./INCH = 2,405.6 S.F. REQUIRED PER ENV-WQ 1016-1.
2,414 S.F. PROVIDED UTILIZING GST218 @ 24.8 S.F. / L.F.
2 GST TRENCHES x 48.67' LONG x 18" TALL
BED DIMENSIONS 48.67' x 12'

DESIGN INTENT

THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (E.D.S.) SHALL BE CONSTRUCTED AT ELEVATION 205.00. THIS IS APPROXIMATELY 1.00 FEET ABOVE ORIGINAL GROUND ON THE HIGH CONTOUR (204.00) OF THE DESIGNED E.D.S. (ENV-WQ-1003.13(aa))

- ### GENERAL NOTES
- CONTRACTOR TO VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY DESIGNER OF ANY ABNORMAL CONDITIONS (HARDPAN OR SATURATED SOILS, LEDGE, ETC.) FOUND WHEN EXCAVATING PRIOR TO INSTALLATION OF THE SYSTEM.
 - LEACH BED CONSTRUCTED USING GEOMATRIX GST TRENCHES. FOR DETAILED INSTALLATION INFORMATION REFER TO "GST LEACHING SYSTEMS DESIGN MANUAL FOR PRESSURE AND GRAVITY APPLICATIONS", 2020 EDITION (OR MOST CURRENT EDITION). CONTACT GEOMATRIX AT PHONE +1-860-510-0730 OR WWW.GEOMATRIXSYSTEMS.COM
 - PER ENV-WQ 1016.03, CONTRACTOR IS TO PROTECT THE NATURAL ABSORPTION QUALITIES OF THE SOIL. DO NOT COMPACT OR DRIVE OVER THE AREA WITH EQUIPMENT AND PROTECT OPEN EXCAVATION TO PREVENT THE ENTRANCE OF SILT AND DEBRIS.
 - FILL TO BE MEDIUM TO COURSE-TEXTURED SAND (0.5mm-2.0mm).
 - REMOVE TOPSOIL BEFORE PLACING FILL.
 - 4 INCH THICK LOAM & SEED AROUND PERIMETER OF FILL.
 - CONTRACTOR TO INSTALL A VENT WHEN PROVIDING MORE THAN 18" OF COVER.
 - CROWN SYSTEM TO SHED RAINWATER. SLOPE SYSTEM AWAY FROM HOUSE.
 - SYSTEM WILL BE REPLACED IN SAME LOCATION IN CASE OF FAILURE.
 - JOINTS ARE TO BE BELLED PVC OR STANDARD SLIP COLLARS.
 - PER ENV-WQ 1010.11, THE FIRST COMPARTMENT IN MULTI-COMPARTMENT SEPTIC TANKS MUST EQUAL AT LEAST 2/3 OF THE REQUIRED VOLUME.
 - PER ENV-WQ 1010.10, EXCEPTING LEDGE TANKS, THE LIQUID DEPTH OF THE SEPTIC TANK IS TO BE AT LEAST 40".
 - THE OUTLET BAFFLE SHALL BE A VENTED TEE WHICH SHALL EXTEND TO A DISTANCE BELOW THE SURFACE EQUAL TO 40% OF THE LIQUID DEPTH AND SHALL EXTEND ABOVE THE LIQUID LINE TO NOT LESS THAN ONE INCH FROM THE TOP OF THE TANK.
 - ALL CONNECTIONS BETWEEN A SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE SEPTIC TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR THAT: (1) WILL ACCOMMODATE NORMAL MOVEMENT OF THE SEPTIC TANK WITHOUT LEAKING OR BREAKING; AND (2) HAS BEEN CERTIFIED BY ITS MANUFACTURER OR DISTRIBUTOR AS MEETING OR EXCEEDING THE APPLICABLE STANDARD IN ASTM C 1644-08, SECTION 7.
 - CONTRACTOR TO PROVIDE RISERS FOR TANKS WITH MORE THAN 12" OF COVER.
 - IF GARBAGE GRINDERS ARE DESIRED, SEPTIC TANK SHALL BE 50% LARGER. IF A BASEMENT EJECTOR PUMP IS DESIRED, SEPTIC TANK SHALL BE INCREASED BY 250 GALLONS.
 - APPROVAL FOR CONSTRUCTION IS VALID FOR 4 YEARS FROM DATE OF ISSUE, EXCEPT APPROVAL IS ONLY VALID FOR 90 DAYS FOR FAILED SYSTEM REPLACEMENTS.
 - TOWN OF RAYMOND, REQUIRES BED BOTTOM INSPECTION.
 - PVC PIPING TO BE SUPPLIED BY: ELIMINATOR SYSTEMS INC. (603) 868-2242) OR EQUAL.
 - SEPTIC TANK & D-BOX TO BE SUPPLIED BY: SHEA CONCRETE (800-696-7432) OR EQUAL.
 - ROCKINGHAM COUNTY SOIL CONSERVATION SERVICE SOIL TYPE:
 - ANY CHANGES TO SEPTIC TANK, BUILDING OR WELL LOCATION/ORIENTATION WILL REQUIRE AN AS-BUILT PLAN TO BE PROVIDED BY THE DESIGNER PRIOR TO NHDES FINAL INSPECTION.
 - PER ENV-WQ 1004.10, SYSTEMS OVER 2,500 GPD ARE TO BE INSPECTED BY DESIGNER.
 - PER ENV-WQ 1003.13(a)(3) THERE ARE NO KNOWN BURIAL SITES OR CEMETERIES ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.
 - 50' SETBACK FROM POORLY DRAINED SOILS.
 - DISTANCE FROM SEWER PIPE TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF SDR28 OR EQUIVALENT IS USED IN ACCORDANCE WITH ENV-WQ 1008.04(c)(1).
 - DISTANCE FROM SEPTIC TANK TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF THE SEPTIC TANK IS EITHER MADE FROM PLASTIC OR COATED WITH A SEALANT TO PREVENT INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH ENV-WQ 1008.04(c)(2).



REFERENCES

PARCEL SERVICED BY MUNICIPAL WATER

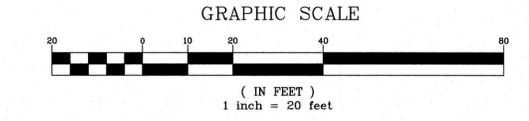
● SUBDIVISION APPROVAL # eSA2018112601 ISSUED: 11/26/2018

PROJECT PARCEL
TOWN OF RAYMOND
TAX MAP 29-3, LOT 42-1

TOTAL LOT AREA
113,488 SQ. FT.
2.61 ACRES

CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE SEPTIC PLAN FROM THE NHDES APPROVED PLAN

THE BUILDER/SITE CONTRACTOR IS RESPONSIBLE TO CONFIRM THE ZONING DIMENSIONAL REQUIREMENTS AND SETBACK LINE REQUIREMENTS PRIOR TO INITIATING CONSTRUCTION OF THE PROPOSED HOUSE AND SEPTIC SYSTEM. THE ZONING ORDINANCE OF THE MUNICIPALITY IS TO BE COMPLIED WITH. THE BUILDER/SITE CONTRACTOR IS ALSO RESPONSIBLE TO CONTACT THE MUNICIPALITY REGARDING INSPECTIONS PRIOR TO AND DURING CONSTRUCTION, I.E. LOCATION AND BED-BOTTOM INSPECTIONS.



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Checked: JAC	Scale: AS SHOWN	Project No.: 14163.7
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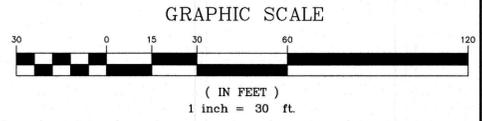
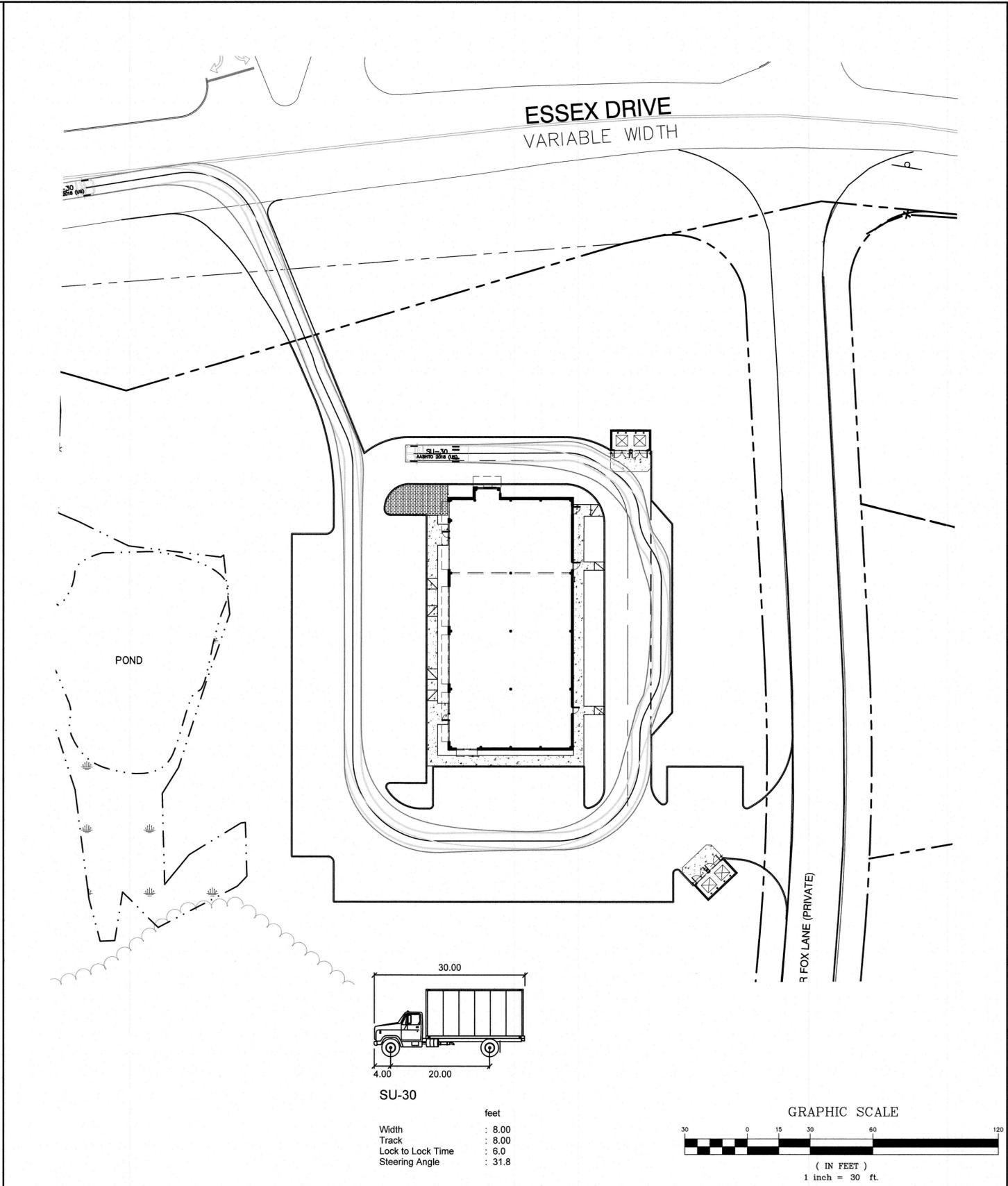
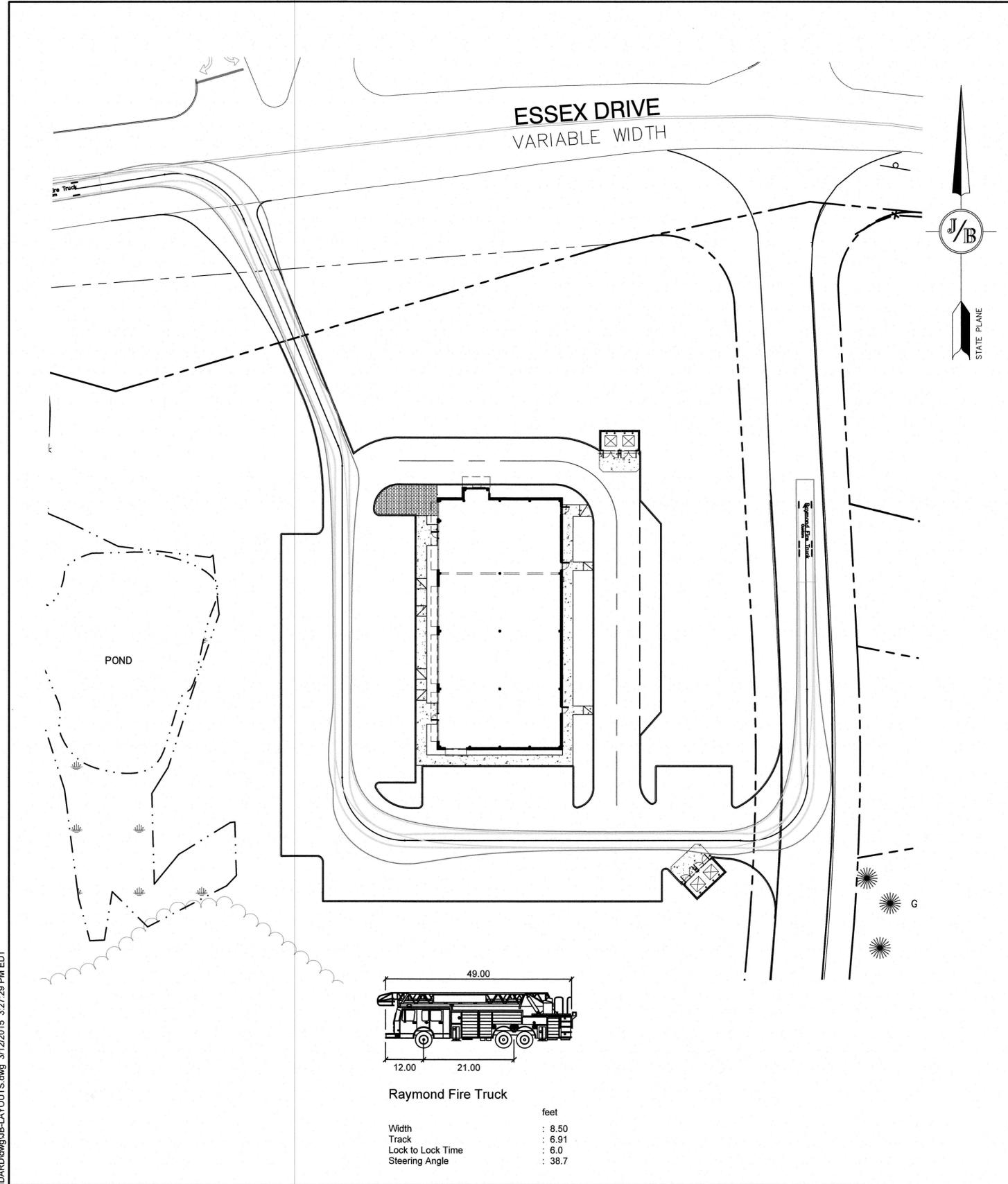
85 Portsmouth Ave. Stratham, NH 03885

Civil Engineering Services

603-772-7476
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Plan Name:	EFFLUENT DISPOSAL DESIGN
Project:	STARBUCKS 1 SILVER FOX LANE, RAYMOND, NH 03077
Owner of Record:	RYE HARBOR REALTY, LLC 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

DRAWING No.	S1
SHEET 12 OF 14	JBE PROJECT NO. 14163.7



F:\CADD\MASTER STANDARD\DWG\JBLAYOUTS.dwg 3/12/2015 3:27:28 PM EDT

Design: JAC	Draft: ERE	Date: 2/3/22
Checked: JAC	Scale: AS SHOWN	Project No.: 14163.7
Drawing Name: 14163-PLAN-STARBUCKS.dwg		
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REV.	DATE	REVISION	BY
2	1/12/22	REVISED PER TOWN ENGINEERS COMMENTS	ERE
1	11/18/21	ISSUED FOR REVIEW	ERE
0	6/22/21	ISSUED FOR REVIEW	DJM

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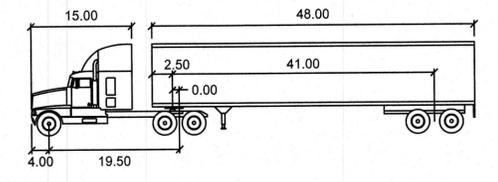
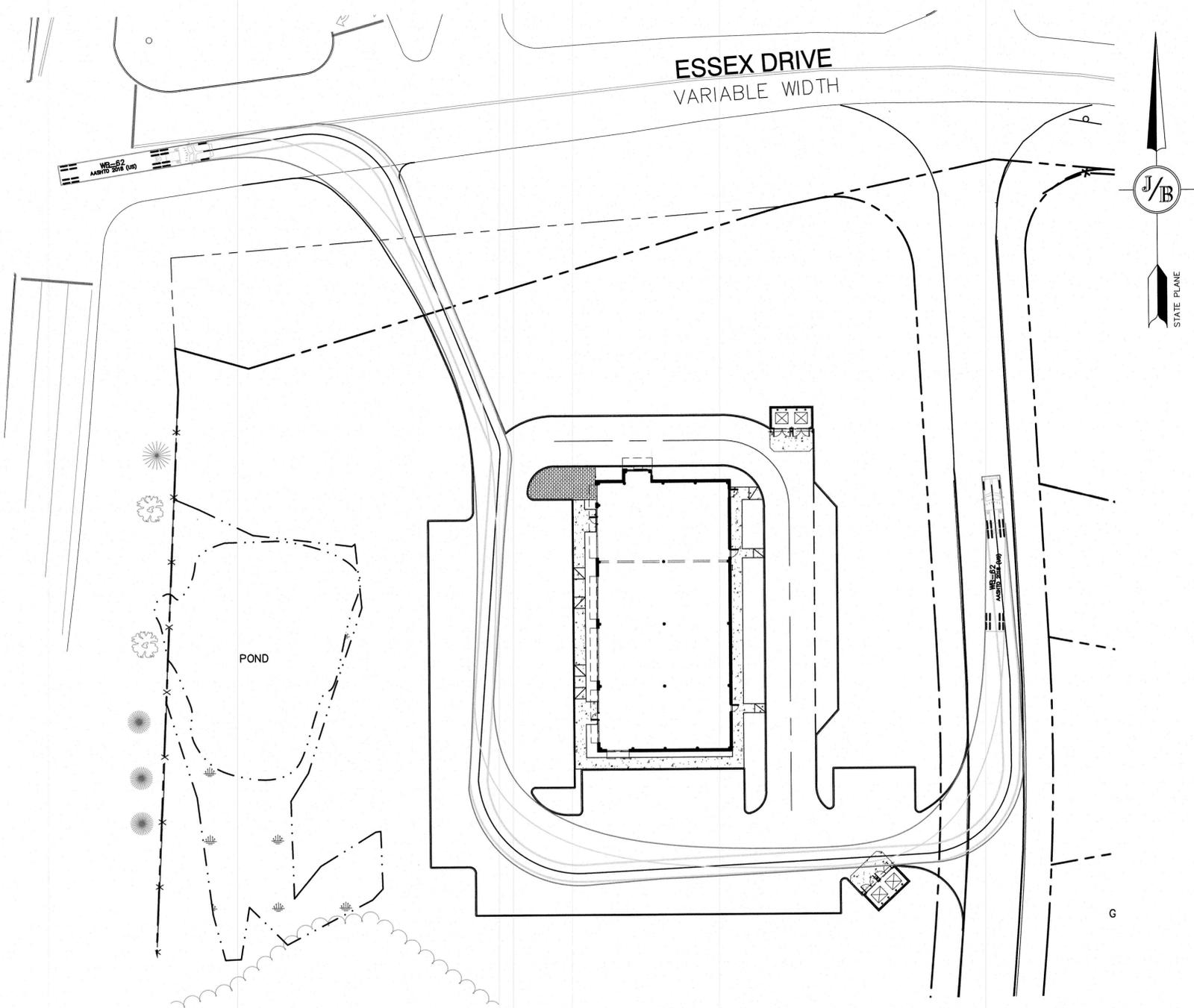
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	TRUCK TURNING PLAN
Project:	STARBUCKS 1 SILVER FOX LANE, RAYMOND, NH 03077
Owner of Record:	RYE HARBOR REALTY, LLC 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

DRAWING No.

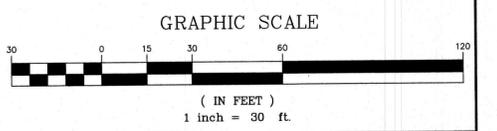
T1

SHEET 13 OF 14
JBE PROJECT NO. 14163.7



WB-62

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



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Design: JAC	Draft: ERE	Date: 2/3/22
Checked: JAC	Scale: AS SHOWN	Project No.: 14163.7
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Plan Name:	TRUCK TURNING PLAN
Project:	STARBUCKS 1 SILVER FOX LANE, RAYMOND, NH 03077
Owner of Record:	RYE HARBOR REALTY, LLC 149 EPPING ROAD, SUITE 2A, EXETER, NH 03833 BK 6000 PG 1019

DRAWING No.

T2

SHEET 14 OF 14
JBE PROJECT NO. 14163.7

1 Planning Board Minutes
2 February 3, 2022
3 7:00 PM
4 Media Center Raymond High School
5

6 **Planning Board Members Present:**

7 Brad Reed
8 Gretchen Gott
9 Patricia Bridgeo
10 Dee Luszcz (Alternate)(Seated)
11 Paul Ayer
12

13 **Planning Board Members Absent:**

14 George Plante (Selectmen ex officio)
15

16 **Staff Present:**

17 Madeleine Dilonno -Circuit Rider Planner, RPC
18 Glenn Coppelman - Circuit rider
19

20 Mr. Reed 0:27

21 Good evening, everyone. I'd like to welcome you to the February 3, meeting of the
22 room and Planning Board. Would you rise with me as we pledge allegiance? I
23 pledge allegiance to the flag of the United States of America and to the republic for
24 which it stands, one nation under God, indivisible with liberty and justice for all.

25 I would like to let everyone know that we will not have a select board representative
26 tonight Mr. Plante had to go to a meeting with some medical issues with his dad. He
27 called me a short time ago. We'll begin with application number 2021 -023. Special
28 permit applications that have been submitted by Liberty Woods LLC. For our
29 properties identified as Raymond tax map 21, lot 73, 74 and 75. Located on Green
30 Road within zone B. The applicant is proposing a minimum impact wetland crossing
31 of the driveways for all three of these lots. And I want to reiterate again, welcome Mr.
32 Martel.

33
34 Ms. Gott 1:39

35 Mr. chair I will be recusing myself, please.
36

37 Mr. Reed 1:44

38 Gretchen is an abutter. She's recusing herself. I want to remind the board that we
39 are here specifically to talk about the special permits for the driveways crossing of

40 the wetland. That's what this is about. They have been to TRC. The minutes have
41 been available. We've gotten feedback from our former DPW and from our fire chief
42 after that TRC meeting the recently retired public works director Steve Brewer This is
43 from Paul Hammond. Reviewed the driveway applications for town conformance the
44 current PWD, David Fredrickson as well as I have inspected the proposed driveway
45 sites it is constructed to conform to town requirements, as outlined by the PW DS
46 there should be no reason to assume emergency apparatus could not utilize these
47 driveways. And he thanked us for further concerning his correspondence. So that's
48 from our fire chief. So, Mr. Martel, for the record, would you introduce yourself?

49

50 Keith Martel 2:44

51 My name is Keith Martel. I'm here on behalf of Liberty Woods.

52

53 Mr. Reed 2:46

54 I thank you for going to the TRC for meeting with them. I read through the minutes. I
55 know we have at least one abutter. Do we have any other butters here this evening?
56 Okay, Gretchen Gott is also a member of this board. But she is an abutter. I just like
57 to ask, is there anything that came out of that meeting? That that you feel as the
58 builder has anything to do with these three special permits?

59

60 Keith Martel 3:28

61 No, sir. Were you are asking for a quick recap? The two second snippet is that the
62 meeting went. Well. The comments that were raised here at a board level are
63 regarding potential for culverts, the small drainage swale that exists on the side of
64 the Green Road. We were aware of all of those, I had the opportunity to meet your
65 new DPW director who seemed like a pretty nice fellow. We had a conversation that
66 that prior to the application for official driveway permits, he and I would take a quick,
67 quick walk along the frontage of it, put our heads together as what would be the best
68 solution on each of those spots so that we could minimize the and potentially
69 mitigate some of what's currently occurring there. At the time of the driveway permit
70 application, he had requested just that I confirm site distance for one of the
71 driveways with the application. I have no problem with that. I have no issue with
72 meeting that. And really kind of felt like a pretty straightforward TRC meeting that I
73 think gave the abutters an opportunity to air some of their concerns to the
74 appropriate department heads, to make sure that fire apparatus was comfortable
75 with the site. I'm here tonight to do the same thing we did last time in the hopes of
76 leaving with an approval for the three lots.

77

78 Mr. Reed 4:51

79 Ms. Gott since you are here, and you were also at that meeting. Is there anything
80 regarding the special permits and now, I'm not talking about the rest of the building
81 process, trying to limit. Okay, good.

82

83 Ms. Gott 5:05

84 The abutters continue to be concerned about the water. Keith has mentioned that,
85 for example, tonight there's significant water washing down the hill, the culverts that
86 need to have good access, and Paul has said excess fire truck is acceptable for him.
87 So, it's really the culverts in the water. And the problem with that.

88

89 Mr. Reed 5:28

90 And in a previous meeting here, you committed to putting in culverts at each
91 driveway.

92

93 Keith Martel 5:34

94 Well, there's one of them that a culvert . It's the top one it shoots away from the road.
95 Already, I don't think that your DPW would want a culvert in that location. But I have
96 no issue working together with him with respect to any of the issues that have been
97 raised here to make sure that we're doing the right thing on each case.

98

99 Ms. Gott 5:52

100 The DPW director seems very interested in working with you Keith as well. So, I
101 think we should get as good a result as we can.

102

103 Mr. Reed 5:58

104 Okay, thank you. Okay, with that having been gone over at the board level, do we
105 have any questions from Mr. Martel regarding the special permit for the driveway
106 crossing of the wetlands which the rest of us walked up there that night? We were all
107 there. The four of us did walk the site. Do we have any issues with that?

108

109 Mrs. Luszcz 6:22

110 No.

111

112 Mr. Ayer 6:24

113 No.

114

115 Mr. Reed 6:28

116 Then if there are no more questions for him if we have no issues with that I, do we
117 have a

118

119 Maddie Dilonno 6:36

120 So as part of the special permit process, you have to review the criteria that's in the
121 zoning ordinance and Mr. Martel is provided in responses to those.

122

123 Keith Martel 7:05

124 I recall most of that as long as you're not asking me to read it.

125

126 Mr. Reed 7:23

127 Okay, according to zoning ordinance 4.9.6.2. In granting a special permit the
128 Planning Board shall ensure that specific standards have been met. Below are the
129 following standards with an explanation of how the standard is upheld. 4962.1 A
130 New Hampshire licensed civil engineer or other appropriate New Hampshire
131 licensed professional shall provide a review of the design and construction methods
132 for the proposed use. They responded, the wetland application and plan were
133 prepared and concerted effort by Promised Land Survey, LLS And the Dubay PE
134 and Gove Environmental Wetland Scientists. And we've seen those plans 4962.2 the
135 Raymond Conservation Commission has reviewed and provided comments on the
136 proposed use. The Conservation Commission completed a site walk with the
137 property and prepared a letter for both a DES application as well as the planning
138 board 4962.3 depending on the size of the proposed use and its impact as
139 determined by the planning board. The applicant may be required to prepare an
140 erosion control plan in order to minimize all detrimental impacts to wetland and
141 shoreline resulting from the proposed use during and after construction. As their
142 response as part of the wetland application, a construction sequence was noted, and
143 proper erosion control methods were illustrated to show proper BMPs. For the scope
144 of the work and addition, we implement proper building practices of installing silt
145 fence on downhill gradients of disturbed areas when in sensitive situations 4962.4
146 The applicant shall maintain the site as nearly as practical impossible to its original
147 grade, shape, and appearance. Crossings were designed to work with the existing
148 topography, and this will minimize any cuts and fills in excess of what's necessary to
149 provide the least impact as practicable in accordance with DES regs. 4962.5 in
150 accordance with New Hampshire RSA 676:41 (G) the applicant shall be responsible
151 for the costs of any outside technical existence that the planning board requires, as

152 part of its review of the proposed use. And an escrow is established at the time of
153 application in accordance with this regulation. We have the applicant's signature on
154 everything. Does everyone on the board feel that they've met the requirements?

155

156 Mr. Ayer 9:52

157 It says they will put a silt fence downhill disturbed areas when in sensitive situations,
158 they're going to disturb everything from the hot top road to where they build the
159 house. So, there should be a silt fence all the way.

160

161 Mr. Reed 10:13

162 Any places that downhill that they would do that. Yeah,

163

164 Mr. Ayer 10:16

165 I don't know what sense of situation means. Well, if I wish that was not there. Okay. I
166 don't know whose signature this is.

167

168 Keith Martel 10:28

169 My signature.

170

171 Mr. Reed 10:29

172 Okay, that's Mr. Martel's. We should have a place for the name to be printed as well.
173 Okay, then Mr. Martel on 4962.3 question came up about the silt fence and the
174 requirements.

175

176 Keith Martel 10:50

177 Any of the downhill gradients are covered on these sites.

178

179 Mr. Reed 10:52

180 Sensitive is just a reference?

181

182 Keith Martel 10:55

183 Downhill gradient is just the word that just came out in a sentence. Okay, we're in
184 what we'd consider a sensitive area. Okay.

185

186 Mr. Ayer 11:01

187 So, it'll just go all the way, right?

188

189 Keith Martel 11:04

190 On the downhill gradients.

191

192 Mr. Reed 11:20

193 Any other questions for the applicant?

194

195 Ms. Gott 11:49

196 Keith, I hope that people are very aware of how bad that hill is in terms of traffic and
197 parking and equipment and all that kind of thing. I will offer my driveway if you need
198 that. Thank you for making it safer because I hate to see people flying down.

199

200 Keith Martel 12:03

201 Yeah, we, when we start construction on any public roads immediately, we pull in a
202 landing area so that we're not out on the road with it.

203

204 Ms. Gott 12:09

205 Okay. Because it's right now it's not safe the way it is. Thank you.

206

207 Mr. Reed 12:14

208 Thank you. Okay, take a motion. Just stating that we've met all the requirements of
209 4962. Just to make sure we've covered it a second. Okay, I guess I made the
210 motion.

211

212 Motion:

213 Mr. Reed made a motion that we accept the applicants meeting the requirements of

214 4962. Mrs. Luszczyk seconded the motion. The motion passed with a vote of 4 in
215 favor, 0 opposed and 0 abstentions.

216

217 Hand out the standard conditions of approval for this.

218

219 Ms. Bridgeo 13:31

220 Conditions of Approval. application 2021-020 Green Road special permits Raymond
221 tax map 21 Lots 73, 74 75. Green Road Raymond New Hampshire. And make a
222 motion to approve application number 2021-020. A special permit application at
223 Green Road tax map 21, lot 73,74 and 75. Subject to the following conditions, the
224 following condition shall apply. The conditions of approval designated as conditions
225 precedent must be completed within six months unless otherwise specified or this
226 approval shall become null and void. The applicant must obtain all required local
227 state and federal permitting for the project and provide copies of the same to the
228 Community Development Department. A performance guarantee shall be executed
229 between the town of Raymond and the applicant within 30 days. Failure to execute
230 the required agreement will result in plan approval revocation impact the impact fees
231 will not be imposed for this special permit. The following items must be completed
232 within 24 months of the completion of conditions precedent for this project to
233 constitute active and substantial development or building pursuant to RSA 674:39
234 completion of all proposed improvements. The following items must be completed
235 within five years of the completion of the conditions precedent for this project to
236 constitute substantial completion of the improvements pursuant to RSA 674:39.
237 Completion of all proposed improvements, this approval is subject to the following
238 waivers as granted by the Raymond Planning Board, not applicable. This approval is
239 subject to the following variances as granted by the Raymond Zoning Board, not
240 applicable. This approval is subject to conditional use permit as granted by the
241 Planning Board, not applicable. Other conditions imposed by the planning board.
242 None. Any persons aggrieved by a decision of Planning Board concerning a plat or
243 subdivision may present to the Superior Court a petition in accordance with New
244 Hampshire RSA 677 :15 Or as applicable to the Zoning Board of adjustment for
245 pursuant to RSA 676: 5, within 30 days of the date of decision identified above this
246 notice has been placed on file and made available for public inspection in the
247 records of the planning board. Mrs. Luszczyk seconded the motion. The motion passed
248 with a vote of 4 in favor, 0 opposed and 0 abstentions.

249

250 Mr. Reed 16:04

251 Your motion and your special permit have been approved.

252

253

254 Okay on application number 2022-02 in accordance with RSA 676:4 II B and section
255 3.03.02 In accordance with RSA 676:4 II(b) and Section 3.003.02 of Raymond Site
256 Plan Review Regulations the Planning Board will engage in a nonbinding conceptual
257 review discussion with an applicant, Austin Turner of Bohler Engineering and
258 authorized representatives on Thursday, February 3, 2022 at 7:00 p.m. in the
259 Raymond High School Media Center (library). The discussion will be regarding a
260 proposal to develop property located at 70 Route 27 and shown on the Raymond
261 Tax Maps as Map 28-2/ Lots 9, 10 & 11. Per RSA 676:4 II(b), the Planning Board
262 may engage in nonbinding discussions with an applicant beyond conceptual and
263 general discussions which involve more specific design and engineering details;
264 provided, however, that the design review phase may proceed only after
265 identification of and notice to abutters, holders of conservation, preservation, or
266 agricultural preservation restrictions, and the general public as required by
267 subparagraph I(d). The board may establish reasonable rules of procedure relating
268 to the design review process, including submission requirements. At a public
269 meeting, the board may determine that the design review process of an application
270 has ended and shall inform the applicant in writing within 10 days of such
271 determination. Statements made by planning board members shall not be the basis
272 for disqualifying said members or invalidating any action taken. Now, with the
273 introduction of that application.

274

275 Mr. Ayer 18:49

276 I recuse myself because I have been in discussion with Jewett Construction about
277 employment.

278 Mr. Ayer left the meeting and Ms. Gott returned as a voting member.

279

280 Mr. Reed 19:06

281 Now, sir, would you introduce yourself.

282

283 Greg Di Bona 19:07

284 Yes, thank you, Greg DiBona with Bohler engineering subbing in for Austin Turner. I
285 know we had Austin's name down. I run our Bedford branch, been with Bohler for 15
286 years and we've done a number of projects similar to this in nature, especially in the
287 past couple years. This scale and size of an industrial warehouse is very popular.
288 So, I'm here to represent the owner applicant tonight and I'll be really the only one
289 speaking on behalf of the application. We have folks here I think just enjoying the
290 show. So, I'll just be the one talking with you.

291

292 Mr. Reed 19:49

293 Would you read those to us please?

294

295 Maddie Dilonno 19:58

296 Roger E Couriers, Gibbs Oil Company, Robert Gove, John, and Marie Longo .
297 Jewett construction. Gary Titus, State of New Hampshire. Ready Mix Companies
298 Incorporated, Bohler engineering, Kenneth, and Tara, Swiss. And ML Wallace
299 properties, LLC.

300

301 Mr. Reed 20:25

302 Were any of your names called? Would you identify yourself? Jewett construction ?
303 Thank you.

304

305 Greg Di Bona 20:37

306 Great. Thank you. So, what I've passed out tonight, it's just an updated colored copy
307 of the concept that we had previously provided. This one has some additional
308 information regarding just a zoning analysis of the bulk standards in the zone. As
309 you mentioned, this product for projects involves lots 9,10 and 11. What you see
310 before you are basically a warehouse distribution facility that's approximately
311 248,000 to maybe 250,000 square feet. When all is said and done with the final
312 layout, we've provided really adequate parking above the normal standard. Typically,
313 we like to see parking around one per 1000. The ordinance doesn't require that
314 many, but in our experience, for most tenants, they want to see that one per 1000
315 limit. Right now, we're showing enough parking for like 1.1. So, we're slightly over,
316 okay, we have approximately 45 loading bays. Again, very common for this size
317 building, we don't have a tenant, this is basically a spec building, we're also providing
318 approximately 74, trailer loading space. Again, these are pretty standard
319 requirements for this type of use and this type of footprint. The site is ideally suited,
320 we are in the zone D industrial, everything about this layout complies with the
321 ordinance criteria, we don't need any relief from any of the design standards or any
322 of the criteria. The property itself, which is probably why it was zoned this way, as
323 really no, no residential abutters that are going to have any impact from this type of
324 development, it's going to be set back over 400 feet from the road. So, any visual
325 aspect, when you're driving along 27 will quite frankly be very hard to see, you're
326 going to have to really kind of slow down and look down the access drive to try to
327 see this building. We also have natural buffers in place between the developed
328 portion of the site and route 27, because there is a good-sized pocket of wetlands
329 and vegetation that's going to be maintained. So, all that wooded area that you see
330 out there today is all going to remain the site does have just one access point. And
331 out from 27, we have already had some Preliminary discussions with the DOT, we
332 are not expecting this to have impacts from really a trip generation standpoint, that's

333 going to require additional improvements. Were below any sort of thresholds that
334 would warrant traffic signal improvements. There may be some shoulder or like let's
335 say I'll turn off Lane improvements to improve access in and out for the new
336 driveway. But a user of this type using IT standards, you know, we're only looking at
337 about 60 trips in a peak hour for this type of use. That's below what DOT would
338 typically consider as a major impact. Of those trips. The trucks themselves at a peak
339 could only about 15 trucks an hour. So, again, it's much less of an impact than what I
340 think people would maybe expect to see for a 250,000 square foot building. But
341 those are standard trip generations based on you know, national studies. We do
342 have a number of wetlands on site, and we will have to go through our normal
343 permitting process to get DES permitting for a little bit of dredge and fill. And we do
344 have a small wetland crossing that we would do, as part of getting to that access to
345 Route 27. We will have septic on site, we will be handling all of our stormwater
346 management on site as well. And there really is not much special permitting that is
347 required for this, we will have to file for an AOT as well. But again, we don't
348 anticipate challenges from the outside agencies, as far as getting through state
349 approvals for this type of use.

350 We do have a couple, you know, some utility offset utility improvements, the water
351 main extension to service the site, close waters about 500 feet away from the site
352 right down 27. But again, nothing that we find is a challenge to be able to move
353 forward with the layout. The building height, you know, based on my read of the
354 ordinances, it talks about stories, but you know, in for industrial test for stories, but of
355 course, with industrial, they're really, it's really just one story, that's where the high
356 bays. So, you know, we intend on providing a 40-foot-tall building that would meet
357 the four-story criteria, but just understand it is one story, just with high vaulted
358 ceilings. And, you know, really the reason we're here is really just get some initial
359 feedback, we've talked with some members of the town, it seems like it's a very well-
360 suited application for complying with the ordinance compliant with the zoning, fitting
361 in line with the intent of the way the site was zoned. Again, really well positioned as
362 far as screening and lack of impact any abutters or neighbors. And really, we just
363 start looking for some general feedback. So, then we can take our process to the
364 next steps and start to further refine this plan into design drawings and get an
365 application filed here to move forward.

366

367 Mr. Reed 27:20

368 Okay. Any questions, of course, who'd like to begin?

369

370 Ms. Gott 27:30

371 Okay, I'm a little confused, nothing new. To explain the difference between you said
372 60 trips per hour, and then you said 15 trucks per hour. That's correct. Explain what
373 that means.

374

375 Greg Di Bona 27:43

376 The way a trip works, and the trips count as people entering and or exiting the site.
377 But it also includes regular employee cars. So, a trip would be if you and I were
378 going there to work and driving in and out that counts as one trip. If you and I were
379 leaving, that counts as another trip. Trucks are also counted in that trip, but because
380 of the type of use and you're going to have trailer trucks servicing the building, they
381 count those separately. It's still part of the overall total, but they break it out. So, you
382 understand how many trucks are anticipated for this type of building?

383

384 Ms. Gott 28:18

385 Thank you. 24-hour operation?

386

387 Greg Di Bona 28:21

388 That's correct.

389

390 Ms. Gott 28:25

391 And explain why you mentioned possible turn lanes. Could you tell us more about
392 those, please?

393

394 Greg Di Bona 28:32

395 Yeah. So, when we go through the DOT review process, they're going to evaluate
396 really that trip generation data that I was just spitting out based on Promare, we're
397 going to have a traffic study that we'll do, we'll give more specifics to that when we
398 file for DOT. And then what they'll do is they look at overall trip activity on route 27.
399 We'll look at things like the current driveway, Lane widths, the shoulder widths, and
400 make a determination if we have adequate movement space for the trailers to come
401 in and out of our new driveway. Sometimes for warehouse distribution, they like to
402 add a lane widening along the right of way, so that a truck could have more room for
403 maneuverability or more room to slow down before entering into the access
404 driveway.

405

406 Ms. Gott 29:26

407 And how long is the driveway please?

408

409 Greg Di Bona 29:29

410 Right now, that access drive from route 27 to the closest point of the building is 430
411 feet. So, the access road is approximately 400 feet of driveway before you get to 27.

412

413 Ms. Gott 29:44

414 So, traffic, tractor trailer traffic would come in and what pattern would they use?

415

416 Greg Di Bona 29:50

417 All the pattern around the building is in a counterclockwise movement. So, they
418 come up the driveway and they're going to turn right, and they move around the
419 building counterclockwise because that's how they operate the best when it comes
420 to maneuvering in and out of the docks. Then when they leave, they're going to
421 continue to move around the building. We have a driveway pattern to the north of the
422 building side so that you can wrap around. And then you really have almost like a
423 complete truck loop to go around the site and come right back down to 27. This
424 layout was designed specifically to be able to separate the truck circulation from the
425 employee circulation, there is still direct access to the exit lanes. But when you come
426 on to the ring road that goes closest to the building, we like to always keep the
427 employees pretty much as separate as you can from the trailer activity and delivery
428 activity.

429

430 Ms. Gott 30:49

431 Now I'm confused again. Yeah, because I thought I understood you saying that they
432 would, the trucks would come and go around to the right all around the building. And
433 that's the employee parking.

434

435 Greg Di Bona 31:00

436 I mean, the fact that the employee parking has separate driveway access off the
437 main loop road. So, there is still a separation where it's a shared road, right, it's a
438 shared access drive, usually don't have the trucks and the employees accessing
439 different points to a main road. So, they always share the main loop. But what we
440 like to do is, as you as you see that, feel the parking, which is all on the west side of
441 the building, that activity is separate from all the loading activity, which happens on
442 the east side of the building. So, when I say separation, that's what I'm referring to.

443

444 Ms. Gott 31:38

445 I can't couldn't figure out they're still driving by there. So that's yeah,

446

447 Greg Di Bona 31:42

448 It's okay when they merge on the let's call it the ring road. That's all okay. It's just we
449 like to keep the parking field and the activities in the loading area separate. These
450 are great questions, by the way, though. So, keep them coming.

451

452 Mr. Reed 31:58

453 Can you have said you've done several of these? Could you give us some places?
454 So, we could see one operate?

455

456 Greg Di Bona 32:05

457 Absolutely, yeah, we can, we can come up with the list, I can provide a list of other
458 locations. This has been our firm; we have 29 offices all up and down the East
459 Coast. And we've been fortunate enough that as the industrial market started to
460 boom, a couple years ago, mostly in the like, let's call it central to mid states like the
461 Carolinas and then up through Virginia, and then through New Jersey and New York,
462 where it started to become really popular. We've been chasing that work and
463 continuing to do it all through Massachusetts, and now in New Hampshire. So, we
464 have a pretty nice portfolio of lots of these exact site size buildings. That we can
465 share.

466

467 Mr. Reed 32:51

468 Especially if you have some that you know, like within an hour away or something.
469 Yeah, we could actually see a physical and might just take a lot of questions away.

470

471 Greg Di Bona 33:02

472 I will say that out of all the jobs I've done, this is probably the only one that I've
473 worked on that fits the zoning so perfectly.

474

475 Usually, we have to come in . But this one, this one really does fit what the intent of
476 the zoning is. So, it's a nice project for us.

477

478 Ms. Gott 33:33

479 First of all, obviously, your plan is to go to TRC and one of the things that TRC has
480 talked with us about over the years more so increasingly is not having one exit
481 entrance, especially a 400 foot one. So that's a concern. Because you're talking
482 about having buffers with trees and all that good stuff. Very nice. But if a tree falls
483 over the road is blocked. Fire truck needs to go in. It doesn't appear that there's any
484 other way. Any other place for a driveway. A second driveway.

485

486 Greg Di Bona 34:19

487 Yeah, not. Not ideally. I mean, we could try to put two driveways next to each other,
488 but we usually wouldn't try to do that. I think what we'll have to talk about is talks
489 really about what the concern is about the single access point and if we can come up
490 with if we can come up with an alternative. Again, it's hard to tell at this scale, but we
491 are drawing that driveway also. Ideally as tapers down the road is probably going to
492 be wider than a traditional two-way driveway. Really usually you can accommodate
493 three lanes in this driveway. Something like a blockage or trailer stall or something
494 you have the ability to still maneuver around when you have the wider width? But
495 that's something we can talk further about.

496

497 Ms. Gott 35:07

498 Something to talk with TRC about.

499

500 Mrs. Luszcz 35:25

501 How many bays did you say?

502

503 Greg Di Bona 35:27

504 I was saying it's roughly 45 is what we're showing based on the just the typical width,
505 what usually happens is once we have a tenant come in, they'll tell us really what
506 their mix is and what they need. Oftentimes, in the back of the building, you end up
507 having some kind of utility court, like an island that would have things like your
508 transformer or your gas meters, which eats up some of the space. And oftentimes on
509 the flared end sites, which is, which is the two end caps, those are usually typically
510 raised docks so they're a little bit smaller, have a traditional like roll up door to them.
511 So, the total count might be a little less as we refine this, but we're probably going to
512 be at that 40 to maybe 45 range.

513 Ms. Bridgeo 36:25

514 Can I ask a question about where you say, the size of the warehouse and applicable
515 amenities? Such as what?

516

517 Greg Di Bona 36:36

518 When I say what are you referring to the application? Yeah. Well, when we say that
519 we're referring to basically all the utility infrastructure and the stormwater
520 management and the things that are needed to support the warehouse.

521 Ms. Bridgeo 36:51

522 So, it's really just no amenities, meaning no swimming pool.

523

524 Greg Di Bona 36:54

525 No. Yeah, like, right, yeah, there's no fitness club or anything coming in here. There's
526 no built-in gym or anything. The other reason that this is such a nice size, and it's
527 very marketable is because it works well with tenants that want just the whole
528 building. But it also actually subdivides nicely in case you have two or three tenants
529 that only want a portion. And that's also why when we design these, at this concept
530 level, we have a lot of flexibility for that loading in the back, you might have someone
531 take up a third of the building, who might only need four docks. So, it's, but at this
532 point, again, it's we're building on spec. Maybe as we move through the process, if
533 we end up having a tenant that comes on board, well, you know, we I'm sure share
534 that once that becomes at least at least and we can do that. But right now, we don't
535 have anybody.

536

537 Mr. Reed 37:52

538 Is this designed to be expanded?

539

540 Greg Di Bona 37:56

541 We are a little land locked. There's slight ability to expand, but you have the utility
542 easement right to the north, you have additional wetlands right to the south, we
543 really can't go any wider with it. And the depth that we're showing, which is the 350
544 feet, that's already kind of the ideal max depth you want for a single sided loaded
545 dock. So, you wouldn't, we wouldn't go wider. It just doesn't. Doesn't work

546

547 Mr. Reed 38:25

548 Okay. You said you had 60 trips in your peak hour, what is your total 24 hour
549 projected

550

551 Greg Di Bona 38:33

552 So that way where they don't do it per day, it's per week, don't really show it as 500
553 trips per week. Trips. And the closest trip study that I was able to find for from DOT,
554 in this section of route 27, down to Freetown Road, which kind of like the busy,
555 busiest intersection. It's about 13,000 trips. Now, as you know, this change is
556 probably going to register pretty low on DOT's assessment of having an impact, just
557 because of how high the current trip generation of the road is today. Yes,

558

559 Ms. Gott 39:18

560 It just occurs to me that with the addition of trips, and I understand you're saying it's
561 minimal, it may be enough to trip the warrants for a light at 156 Because we're pretty
562 close on that on those weren't sure. I think that's something again, that TRC will be
563 looking at.

564

565 Greg Di Bona 39:44

566 I know that that's all, again, DOT review related. So, it will I'm sure come up as part
567 of our analysis and our approval process with DOT but it's something we'll certainly
568 look into, and I'll see if I can track down more trip data at that intersection of 156.

569

570 Ms. Gott 40:02

571 Because for me that intersection has a tremendous impact on anybody who works,
572 lives, shops in our town. That's a significant area right there. So, anything that
573 changes that may be of concern. Usually there's not an equal distribution of okay, 15
574 trucks this hour 15 trucks this hour. Is there a peak period?

575

576 Greg Di Bona 40:33

577 So, 15 was the calculated peak. So, it goes even less when that happens. So, it's 15
578 peaks with when they consider peak, it's the prime AM hours. So, 8 to 9 in the
579 morning, and then 5 to 6 in evening. Right. And both of them have the same peak of
580 15 trips.

581

582 Mrs. Luszcz 40:58

583 I do have another question. As the land sits now, yeah. Is this all-tree coverage? Or
584 is there some opening already there?

585

586 Greg Di Bona 41:08
587 It's mostly tree coverage. Yeah, there's some pockets within the wood area. But it's a
588 forest. You know, a lot right now.
589
590 Mrs. Luszczyk 41:21
591 Do you have an estimated number of trees that will be removed?
592
593 Greg Di Bona 41:25
594 I know, I have not done that yet.
595
596 Mr. Reed 41:32
597 When you're done the impervious soil versus the input, you know, yeah. What's
598 going to be left? What's going to be left for our ratio? Honestly, I look quickly, and I
599 don't see the numbers.
600
601 Greg Di Bona 41:47
602 20-29% is what we're calculating currently as the new impervious coverage for the
603 site. Thank you. And that includes building. That's everything that's in the driveways.
604 So basically, a little less than a third.
605
606 Ms. Gott 42:09
607 Now, the tech review question, but water usage. You're going to come out to 27 to
608 tie in there. I'm just curious where the wells are.
609
610 Greg Di Bona 42:39
611 For right now, I think we've done some preliminary calls. And we believe that
612 connection to the main along 27, which is about 500 feet away, is going to be our
613 closest route.
614
615 Ms. Gott 42:50
616 And capacity is always a concern, too.
617

618 Mr. Coppelman 43:09

619 It appears that you're thinking about a distribution center, not a fulfillment center.

620

621 Greg Di Bona 43:14

622 Yeah, that's correct.

623

624 Mr. Coppelman 43:24

625 I'm back up for Maddie. So that's why I'm the question was, it's being the way you're
626 describing it. It's its warehouse distribution as opposed to fulfillment, the difference
627 being that there are a lot of trips generated with small delivery vehicles in and out.

628 Greg Di Bona 43:44

629 Again, we don't have a specific tenant of what we're planning for is distribution.

630

631 Mr. Reed 43:49

632 So those trip members you gave us are based on distribution? That's correct. Okay.

633

634 Mr. Coppelman 43:54

635 So obviously, if you were to come in with a plan to do that, and it was approved for
636 that, and then ultimately, you found a tenant, that was something different, you'd
637 have to be back for a revised?

638

639

640 Greg Di Bona 44:06

641 Yeah, because I think if it ends up having to be more of a distribution use, we'd
642 probably have to provide more parking, and a different configuration for loading. It'd
643 be less relevant to have the large loading, but then you'd need a lot more of the box
644 truck loading bays. And so yeah, it would be a slightly different project, and we'd
645 have to accommodate that. Thanks.

646

647 Mr. Reed 44:27

648 Thank you. Any other questions? Anybody in the public have a question or
649 comment? Guys are often quiet. It's kind of scary, some of you.

650

651 Greg Di Bona 44:46

652 They're all nice guys.

653 Mr. Reed 44:50

654 Do you have any questions for us? Well, you're gracious enough to come here.

655

656 Greg Di Bona 44:54

657 So, you met. I mean, this was really great. I think we got a lot of the feedback that
658 we were hoping to receive and there's been a lot of mentions about the next step,
659 which would be TRC. And I just want to make sure I'm clear on understanding that
660 process in terms of how do we get out for a TRC? How, how comprehensive do our
661 plans have to be before we submit for TRC? Or can we just go right? From
662 conceptual to meeting with TRC to talk about?

663 Maddie Dilonno 45:23

664 You submit your full plans, your full design, you know, submit a copy of all of that to
665 Dubois and King, the town's engineer, they'll issue their first review, and then we'll all
666 meet the Technical Review Committee.

667

668 Ms. Gott 45:34

669 Okay. Perfect. And that's also noticed for abutters and interested parties.

670

671 Greg Di Bona 45:47

672 No, I think I think for us this, this was really what we're looking to hear the give you
673 some great feedback and things that we need to follow up and look into. And I think
674 for us, we're just now ready to move forward. And try to get back to you in a couple
675 months with a formalized, comprehensive set of drawings.

676

677 Mr. Reed 46:11

678 And just contact the town office to get scheduled for those meetings. But once you
679 have a package ready, that's the first step to move on from this point. Unless you
680 had a major change. If you had a major change, and you wanted to come back and
681 visit with us again, that is allowed.

682

683 Greg Di Bona 46:28

684 Okay. I appreciate that. I think we covered everything that we want to verify. And I'm
685 just curious going forward. Are most of the meetings held right here in this building?

686

687 Mr. Reed 46:40

688 Most of our meetings are okay, the TRC meetings are held down at the fire station.
689 Okay. Right off exit for permits.

690

691 Mrs. Luszcz 46:49

692 For a distribution center of this size, what's the estimated number of employees?

693

694 Greg Di Bona 46:53

695 I don't know that. What I'm going to have to look at and try to figure out what we
696 would use for distribution. The problem with distribution is it doesn't really have
697 standards for those yet, because they're so new, so a lot of state highway divisions
698 are trying to figure out how to calculate them? Because you only have, you know, a
699 few like the Amazons of the world that are skewing the numbers in that direction, but
700 they haven't been around long enough or have enough cases where people can
701 provide a standard yet.

702

703 Mrs. Luszcz 47:29

704 So, it's asking that based on your previous statement, I thought you said you've done
705 several of these?

706 Greg Di Bona 47:34

707 Oh, we have but it's all those have been also based on specific tenants telling us to
708 give us this much parking and give us this many, you know, areas for our
709 distribution. What we've done more of is this style which is really truly a warehouse
710 and truck warehouse.

711

712 Mr. Reed 47:53

713 Versus Amazon versus a fulfillment center style. So well, thank you very much. I
714 want to remind everybody that as far as the questions about route 27 That'll be
715 handled by the DOT. We can make comments and that's about how far they go from
716 my experience.

717

718 Greg Di Bona 48:21

719 I do appreciate it. I thank everybody for your time, and this was really helpful.

720

721 Mr. Reed 48:25

722 Thank you thank you very much sir we appreciate your presentation.

723

724

725 Ms. Gott 49:03

726 I'm going to abstain because mine are home.

727

728 Mr. Reed 49:09

729 You don't have to abstain from the minutes because you were here.

730

731 Ms. Gott 49:12

732 I was abstaining because I don't have my notes.

733 Mr. Reed 49:15

734 You don't have your notes. Well, we can always put them off until the next meeting. I

735 mean, if we I mean if that's what we have to do to have you can't I don't think we can

736 do that. Can we?

737

738 Ms. Gott

739 Can I ask you to put them aside, I feel bad that I can't contribute? That's what I'm

740 asking. Okay.

741 Mr. Reed 50:19

742 Would you folks like to honor that choice? Do we ever need to get it because you

743 can post these as they are? And then we can? Correct? Yeah. Okay. Then, would

744 you make that motion that we put them aside?

745

746 Motion:

747 Ms. Bridgeo made a motion to table the minutes from January 20, 2022 until the next

748 meeting. Mrs. Luszcz seconded the motion. The motion passed with a vote of 4 in

749 favor, 0 opposed and 0 abstentions.

750

751 **Public Comment:**

752

753 Mr. Luszcz 51:44

754 Thomas Luszcz, 39. Old Manchester Road. Based on what I've seen in some of the
755 previous meetings, particularly last meeting, you guys have a problem sometimes
756 with a whole quorum as we almost had tonight. As I said, at home, a lot of times, I
757 don't miss a meeting, I watched most of the town's meetings. I've been watching
758 vigorously for the last year and a half. I understand procedures. I understand
759 Robert's rules have been part of boards before. But it looks like you guys need a little
760 help. Okay, so I am proposing becoming an alternate for you folks. So, when you do
761 run into those dilemmas, as you did last week, I could literally just hop in the truck
762 and be here in a matter of 10 minutes. It was almost a disaster. What you guys were
763 going through there. Okay, I'm trying to figure out how to get a quorum, so you could
764 get the stuff on the ballot. So, I have a completed application. As you know, I've
765 been here for more than three meetings, certainly. Now, I don't know a lot about
766 zoning. But, you know, like anything, put the product in front of me, I'll study it. So, I'll
767 make my best judgment. I have a good memory of things that you didn't know a
768 couple of months ago. I was applauding you like I kept texting her to say that. Again.

769

770 Mr. Reed 53:10

771 To check I wasn't at that meeting, but you said it happened. I checked it.

772

773 Mr. Luszcz 53:15

774 So, I'd like the board to consider. Okay, nominate me as an alternate.

775

776 Mr. Reed 53:20

777 The only obvious question, is there a problem with two people from the same family
778 serving on the board? And I'm asking that I don't? I don't know. It's okay. That's a
779 good question. I've never seen this before. We have in the past. Okay. You've had
780 two people from the same family.

781

782 Ms. Gott 53:39

783 And concern has been expressed. And it continues to be expressed when these
784 situations happen.

785

786 Mr. Reed 53:50

787 Okay, so has the Ethics Committee ever had to rule on anything regarding this?

788

789 Ms. Gott 53:55

790 No, we have not. Okay. This happened? It's been quite a few years now.

791

792 Mr. Reed 54:02

793 Okay. All right. Well, what I'd like to do, Tom, if it's okay. Like to check with our town
794 council? Oh, absolutely. I think it would make sense rather than to do a bunch of
795 projects, and then have it all get thrown out because we didn't consider it. I don't feel
796 like it's a problem with you don't misunderstand. Oh, no,

797

798 Mr. Luszcz 54:19

799 but I like procedure.

800 Mr. Reed 54:21

801 Okay. All right. Well, I appreciate it. So

802

803

804 Mr. Reed 54:25

805 Well, why don't you submit it? And we will ask the question of our town council. And
806 then if and if everything's okay, then you have your application? We'll find out now if
807 you have to attend three more meetings after the application. I got to find out also
808 the sequence of that, how that has to occur.

809

810 Mr. Luszcz 54:44

811 Yeah, they actually want you to attend three meetings before.

812

813 Mr. Reed 54:47

814 That's what I saw. Again. That's okay. You're the last time this has happened. I don't.
815 This is all new to me.

816

817 Ms. Gott 54:55

818 I think he has three meetings said it's the question of family,

819

820 Mr. Reed 54:58

821 Right. Yes, we will accept your application, sir, we thank you for your interest. Do

822 you want this now? Yeah, we'll take it know you can give it to Maddie. Thank you.

823 Yeah, no, I do appreciate it. Thank you very much. We'll find these things out. That's

824 all right. We'll get it to Maddie. And will you have asked that? All right if I'll make

825 sure. Copy me on the notes. So, I know what happens. Okay. Thank you. Appreciate

826 it. Okay. So that was public comment. We killed the minutes.

827 **Staff update:**

828 Maddie Dilonno 55:47

829 No updates right now.

830

831 **Board member updates:**

832 Mr. Reed 55:48

833 Do we have any board member updates?

834 Mrs. Luszcz 55:56

835 I will be on vacation. I will be missing the March 3 meeting.

836

837 Ms. Bridgeo 56:16

838 I know you're going to be surprised. I have two things to bring up. I'm sure I know

839 he's surprised. First, at the Selectmen meeting, Keith Smith, brought forth to the

840 Selectmen, I requested the minutes and also recording the minutes. At the

841 Selectmen meeting, we discussed having a joint meeting between the boards, so all

842 of the boards

843

844 Mr. Reed 56:43

845 For all of the town boards at one meeting.

846

847 Ms. Bridgeo 56:47

848 I think they leaned towards the Planning, Zoning, Selectmen. I don't know if they
849 actually wanted to incorporate all of the boards that were the Selectmen, Planning
850 and Zoning, but to discuss the recording, and how to integrate the recordings into
851 our minutes and the way that that could be handled and a process. George probably
852 would have been able to address that tonight. I'd like to know if as the board, we
853 would like to reach over to the Selectmen and say yes, that would be something that
854 we would like to have a discussion with them, which is how our minutes would be
855 handled with recordings.

856

857 Mr. Reed 57:28

858 So, it is handled differently than it is now with electronic. Okay,

859

860 Ms. Bridgeo 57:32

861 So well electronic with the recordings as because how they would be storing the
862 recordings.

863

864 Mr. Reed 57:39

865 Oh, I see. So, you're saying going beyond using the recording to get the minutes?
866 You're talking about keeping the record? Correct. Okay.

867

868 Ms. Bridgeo 57:46

869 That's what was brought forth was how they would be stored and because they
870 currently wouldn't be handled, they're not handled the way that Keith proposed. So,
871 we would like to have that discussion with the Planning Board, be amenable to
872 meeting to have that discussion so that we can all, and we are using the same?

873

874 Mr. Reed 58:04

875 Okay. Do you guys want to have our minutes recorded forever?

876

877 Ms. Bridgeo 58:10

878 Well, that was one of the discussions that wasn't whether or not it was forever that
879 was part of the discussion. How long were that? So that would be part of the
880 discussion.

881

882 Ms. Gott 58:19

883 Yes. And I would like to hear what legal has to say about that, because I've heard
884 different answers as to what's allowed and what's not. So, I think we need to find out
885 what's even possible before we make any determination.

886

887 Mr. Reed 58:36

888 Okay, so as a group, though, if the town is interested in doing this, would you like to
889 participate in the discussion? That's really what we're talking about at this point? By
890 the weekend, do it legally or not? That'll that's something that once they know what
891 they want to do, and I'm sure they'll get some input on that. Do we want to be part of
892 the overall discussion? That's the correct question with this one. Yes, ma'am.

893

894 Ms. Gott 58:58

895 I want to be prepared to know what's possible before we go into the discussion. I
896 don't feel comfortable saying yes, we'll agree to it and then find it's not legal. I'd like
897 to have the answers before us. I think anytime that we have a chance to
898 communicate with other boards, it's a good thing. Okay. But I'd like to know what's
899 legal. What's possible.

900

901

902 Mr. Reed 59:20

903 I think I'd need to know what they're suggesting before I could start asking questions
904 of legal personally.

905

906 Ms. Bridgeo 59:28

907 I do too. I think we need the question. First, what they're proposing otherwise,

908

909 Mr. Reed 59:33

910 We could be chasing our tails, it gets really expensive, real fast. I understand what
911 you're saying.

912

913 Ms. Gott 59:39

914 I do. I understand. Yeah.

915

916 Ms. Bridgeo 59:42

917 I just love this one. And also, the technical. A technical help could come as well to be
918 part of it. At least then we would know what avenue we would have to go down.

919

920 Ms. Gott 59:51

921 And I have a question. I'm not sure how we got to this point of electronic transcription
922 to begin with. I don't know Who made that decision? The cost of all of it, we, it was
923 told, we were told that that's how it was being done. We had not input; I'd like to
924 know how that process was. And if that's the best thing for us to do, because as
925 we've agreed, we have found problems, resulting in the minutes from the electronic
926 transcription. So, I'd like to know, I just want to know the process. And if we have
927 anything to say about it,

928

929 Mr. Reed 1:00:29

930 We can ask that question. We were given some basics, but I don't know where it
931 evolved from.

932

933 Ms. Gott 1:00:35

934 I do not know that. So those are questions to ask. Okay. Alright, so

935

936 Mr. Reed 1:00:39

937 We will ask the question, where did the electronic device use? I'm going to leave it at
938 that.

939

940 Ms. Gott 1:00:46

941 And, you know, is there a cost savings? Is there? What's the reason for it? Why,
942 what's the justification? I

943

944 Mr. Reed 1:00:53

945 I believe, generally, it was a time thing for staff, it was it was able, it compressed the
946 time that the staff needed to get these things on paper.

947

948 Ms. Gott 1:01:00

949 Those are all facts that we need to have.

950

951 Mr. Reed 1:01:03

952 That's, that's just what I was told off the cuff. It was not a formal question or anything,

953 so, but we will ask the question of where it evolved from. You add that to your list.

954 Okay, and your second one.

955

956 Ms. Bridgeo 1:01:19

957 So, my second one is, we've been having a lot of discussion, back and forth. Many

958 times, about zone G. Okay, I have the minutes from 2010,

959

960 Mr. Reed 1:01:38

961 Regarding the warrants, the warrant, okay. All right.

962 Ms. Bridgeo 1:01:44

963 It has the clarification. And I have the warrant, I have it. It was approved by the town,

964 and it was approved by 720 to 575 voters. And the clarification for it. of whether or

965 not zoned G land will not be used in calculating the number of allowed lots nor the

966 square footage calculation for the number of lots within zone A, B, E and F. And

967 there's all the rest of the clarification for how zoned G land is to be interpreted. So, I

968 have all the minutes I have the warrant for it passed. And where do we go from here

969 to make sure then that we are now, and I don't want to say interpreting because it's

970 not interpreting, they we have member one member was here. But we have a

971 member who was on the board when they presented all of this. So how would we

972 like to handle this put back so that people can reread this warrant? It passed. And it's

973 worded and it's clear, and all of the discussion that went into zone G.

974

975 Mr. Reed 1:03:02

976 Okay, so you're talking about the whole thing when they put in the special

977 requirements for zone G?

978

979 Ms. Bridgeo 1:03:07

980 Yeah, it's and they have it. And we've gone back and forth a few times on saying lots

981 of when it shouldn't, shouldn't be used. And they clarified it. And it's in these minutes,

982 how the discussions and how they came up with and what they were doing and what

983 their intentions were. It goes so far as to say you know, further, to amend section
984 4.50 point oh, five manufactured homes to eliminate the use of zone G in
985 determining density further, and it's just, it's all so what would we like to do? Because
986 this clarifies the warrant clarifies zone G land, which is steep slopes, wetlands and
987 soil type is not to be used in the calculations. And this was a warrant in 2010.

988

989 Mr. Reed 1:03:58

990 Then we need to put it on our agenda, so that it can be noticed so that people who
991 have interest in it can come to this meeting to discuss it. If so, you're saying that
992 what we have in the book and the way we're interpreting it is not according to the
993 way it was passed?

994

995 Ms. Bridgeo 1:04:14

996 Not according to the minutes, not according to even how some applicants were
997 being adhered to these.

998

999

1000 Mr. Reed 1:04:25

1001 It came up here and we sent it too legal. And they said that our interpretation that
1002 zoned G could not be used only for calculating the quantity of lots within that was the
1003 correct interpretation.

1004

1005 Ms. Bridgeo 1:04:40

1006 Maybe legal wasn't there in 2010.

1007

1008 Mr. Reed 1:04:44

1009 Again, sometimes interpretation and intent you know, little sidewall the warrant also

1010

1011 Mrs. Luszcz 1:04:50

1012 How was the warrant written?

1013

1014 Mr. Coppelman 1:04:52

1015 I think, I think yeah, I think that's where you need to get to be I mean the minutes on

1016 the discussion are one thing.

1017

1018 Ms. Bridgeo 1:04:58

1019 If you go from minutes to, to deliberative, to warrant.

1020

1021 Mr. Coppelman 1:05:01

1022 And I'm saying that whatever the town voted on that was on the warrant, if the actual
1023 warrants say actual warrant, if it had direction to the planning board to make certain
1024 changes, or additions or whatever to the ordinances are the regs whatever.

1025

1026 Mr. Reed 1:05:22

1027 That warrant was the actual wording we have in here, correct. That's, and that was
1028 from March 2010.

1029

1030 Ms. Bridgeo 1:05:27

1031 And it says further, and it goes through, and it says, and it says that that land shall
1032 not be used in the calculation. And like I said, it was voted 722/575 passed 2010.

1033

1034 Mr. Coppelman 1:05:40

1035 Well, if I mean, maybe we could start with and maybe we as staff could take a look
1036 at that. If someone could provide the warrant wording,

1037

1038 Ms. Bridgeo 1:05:49

1039 I can give you all of the documents up to the, as far as I'm concerned

1040

1041 Mr. Coppelman 1:05:53

1042 At this point. The minutes have its good background, but it's not the minutes.

1043

1044 Ms. Bridgeo 1:05:58

1045 It's clear in here because they took the words and it's verbatim to legal because it is
1046 a deliberative tool.

1047

1048 Mr. Coppelman 1:06:04

1049 I understand, understand, but it's what the voters voted on yet warrant. That is what
1050 we need to be looking at.

1051

1052 Mr. Reed 1:06:13

1053 That's what we based it on is what's in our zoning, and we sent it to legal to make
1054 sure that we were interpreting it correctly, and they backed us up the last time. But
1055 that doesn't mean that maybe we need to look at this. Again, if the voters intended it
1056 to be different. And it just didn't end up that way, then that's another whole issue.

1057

1058 Mr. Coppelman 1:06:33

1059 Which is why I think we need to look at the wall, start with the wording of the war,
1060 start with the warrant, compare it to what we've got in the ordinance or whatever it is,
1061 in the book. Yep. And see where we are. And it should be identical.

1062

1063 Mr. Reed 1:06:42

1064 Should the wording in the warrant that we voted on be identical?

1065

1066 Ms. Gott 1:06:57

1067 This legal counsel that we have currently is not the same one.

1068 Mr. Reed 1:07:04

1069 I don't believe that in 2010. I don't know that. I do not know.

1070

1071 Ms. Gott 1:07:07

1072 I believe it's not. The other thing that I would ask, and you said about staff reviewing
1073 it, and that's what I would hope that would happen, that you would review it. And
1074 then also, I would hope that there comes a point in our meetings, that the two of you
1075 could help us with some training, about specific questions that we have, for example,
1076 this is a great chance to talk about we have all new members. And guess what, that
1077 was 11 years ago for me too. And we need to review those things. And I would
1078 suggest we wait until after election because we may have different members. But
1079 that would be a perfect chance for you all to give the trainee board some training, or
1080 the trade, the Training Board planning boards and training on issues of great

1081 importance.

1082

1083 Mr. Reed 1:08:00

1084 No, and that's one of the things that I wanted to address this year, as we have time
1085 at the end of meetings and so forth. I want to make sure like tonight, we weren't
1086 really so that we can talk about these things, and zone G keeps coming up. So, I
1087 wanted to make sure we all have the same understanding of what our regulations
1088 say. So, I appreciate you bringing this up. I really do trust. And the other question
1089 that came up earlier, so I would ask staff to look at this, get back to us, find out, you
1090 know, give us your opinion, do we need to send this to legal for their interpretation.
1091 And then if we need to have a meeting, you know, that's publicly noticed, because
1092 we're talking about the overall application of a certain section of our zoning, if we
1093 need to put it on our agenda, just so people who have interest Conservation
1094 Commission, other people who've had questions, developers who live in the area
1095 who've had questions over the years, they would be aware that we're talking about it.
1096 And the other thing is if we and I wanted to ask you, folks, if we want to send, we just
1097 passed three special permits. But if we wanted to send a note along to our building
1098 department or building people, because some things came up in the discussion, can
1099 we just draft a note from the planning board? Which instead of pardon me goes
1100 through their conditions, doesn't it? Well, it doesn't have to go under conditions.
1101 That's because see, that's what I'm getting at. We have to be careful because some
1102 of the things that came up in discussion had nothing to do with a special permit.
1103 Gretchen. So, I'm asking if there's some other concern, right? And we as we have a
1104 concern, but now it involves the building department, how can we draft a note and
1105 send it along? Just as a courtesy or as you know, we have a concern.

1106 Ms. Bridgeo 1:09:47

1107 We want to make sure to walk we walked in, you brought things up and had that
1108 information last

1109 Mr. Reed 1:09:52

1110 Exactly. That's what I'm asking is, is there an appropriate channel at doing that? I
1111 just want to make sure we're doing it. We're not causing problems, you know,
1112 because they have regulations that they do their work by, I don't want us to cause
1113 another problem. So, I wanted to ask the question before we go doing something,
1114 that's

1115

1116 Mr. Coppelman 1:10:12

1117 All you're really doing. I mean, all of this discussion is captured in the minutes and
1118 the recording anyway. So, all you would be doing is pointing to some of those things
1119 as items that you think might be of interest to these other departments.

1120 Ms. Bridgeo 1:10:26

1121 I think it's much more poignant than what Brad is saying are there were some
1122 specific issues that were not relevant to our vote. But we're relevant information. And
1123 they were very relevant. And we had noted them, when we walked, we went on the
1124 sidewalk, we brought them up, we talked about them, that information. If the board, it
1125 doesn't go from the board to the building inspector, that information is lost, well, not

1126

1127 Mr. Reed 1:10:57

1128 Unless he reads all our minutes.

1129 Mr. Coppelman 1:10:59

1130 The other thing, though, is that Maddie can weigh in on this too. I mean, a lot of
1131 those concerns got aired out of the TRC, at which the pertinent department head
1132 was there. So, they heard it, they heard it from I mean, Gretchen was there as an
1133 abutter. There were two other abutters there.

1134

1135 Ms. Bridgeo 1:11:19

1136 But we're kind of sitting here relying on each other's memories we're relying on,
1137 we're relying on verbal history, rather than having a process that gets the
1138 information. So, we've seen it repetitively where information shouldn't be just as a
1139 coincidence, she was an abutter, but that information was very relevant. And it's
1140 important to the town, and how, as a process, I'm sorry, no offense against the
1141 building inspector. But the chances of them listening to all of our meetings to hit
1142 those highlights of that concern, even in the same building or not. Is it not how a
1143 procedure should work, it should be something that, that we should be able to
1144 formally put a note that goes to that says this was something that was discussed?
1145 And again, it doesn't have to be that we're telling them what to do. But it should be
1146 put as a note that's addressed to whoever's to deal with it. But otherwise, it just falls
1147 off.

1148

1149 Mr. Coppelman 1:12:22

1150 You can communicate anything you want to your other departments if you think that
1151 it's important information for them. But with regard to this particular application that
1152 we heard tonight that you heard tonight, I didn't hear anything new, that wasn't
1153 already discussed at TRC.

1154 Ms. Bridgeo 1:12:47

1155 So, what I say, and I bring up the information, can I say? I can't. so specific to Lot
1156 number 75. It's like

1157 Ms. Gott 1:12:55

1158 I'm not comfortable with it. Okay, there has been closed and it's within 30 days.

1159

1160 Mr. Reed 1:13:00

1161 Yeah, but where we've been, and that's why I asked the question because we've
1162 passed the special permits, this is not relative to the special permits. So, you know, if
1163 there are other issues, whatever they might be setbacks, or whatever, I'm just
1164 picking something out of the sky now literally. Is there any vehicle that we can,
1165 because now see it with a preexisting lot, it's not a subdivision that has none of those
1166 other things that we normally have any kind of purview on? Is there a vehicle for us?
1167 Because we've had this time we've been to the site, we've been through this? Or can
1168 we only as individual citizens now send a note, as a citizen, I know, we can always
1169 do that. And you can do that. And you can do that individually, even as an abutter,
1170 you can send a note to the building inspector or whoever. But can we as a board
1171 without getting ourselves in trouble? And that's the reason for my question, Glenn.
1172 Because I was afraid, we could easily cross a line there. Because we could get into
1173 zoning issues, we could get into you know, I mean, we could very easily. And that's
1174 why I want to bring up the question because her requests and her concern is
1175 legitimate, you know? Yes, yeah. And right now, all I could say, Trisha is for you.
1176 The specific things you saw, to draft a personal letter to the code enforcement, the
1177 DPW. I mean, you copy all three of them on them, and even the fire chief, you know,
1178 because those are the three people that involve the potential, and I'm just picking a
1179 general. They're just potential, just general potential for this kind of thing that you as
1180 a citizen could say, as a citizen. I happen to visit this site and I have concerns about
1181 ABCDE and just want to make sure you're aware of it. That we can always do is
1182 concerned individuals. That's why question and concerns could get ourselves in
1183 trouble with talking about things that aren't applications that aren't.

1184

1185 Ms. Gott 1:15:15

1186 It's hard with our site plan approvals and those kinds of things. We have a place for
1187 that on conditions of approval. Right? This is a very different situation. And it's a
1188 reasonable question to ask what the process is, what are we allowed to do?

1189 Ms. Bridgeo 1:15:34

1190 And I think, could we just say noted, could we say something, find the legal language
1191 for just note, noted, so that we just as the board just want noted? That's to just not
1192 saying we're recommending, we're noting.

1193 Mrs. Luszcz 1:15:55

1194 What if we put a little note together and put it on the agenda that we are going to be
1195 submitting this, this list of points that were brought up.

1196

1197 Mr. Reed 1:16:04

1198 To notify all the abutters and everything if we do something like that, though?

1199 Mrs. Luszcz 1:16:16

1200 Just put it on our agenda that we've drafted this letter of concern to the building
1201 inspector regarding some observations, so it's an observation, there's no legal
1202 ramification to what we don't have any, you know, purview over it. But will it become
1203 public that we're just handing this over to the building inspectors office? I don't know.

1204 Mr. Coppelman 1:16:39

1205 The more I think it's a terrible, slippery, slippery slope, absolutely. It's one thing to
1206 perhaps attach a copy of the minutes of the meetings or minutes of site walk or
1207 whatever, to the conditional approval, and pass that to make sure those get passed
1208 along to the appropriate departments. So that at least they have them and they don't
1209 go have don't have to go digging for them. In this. In that case, you're not creating
1210 anything new. You're not taking any separate action. You're just providing
1211 information that was captured as part of a public process.

1212 Mrs. Luszcz 1:17:17

1213 But we couldn't put these conditions on him for what he came before us.

1214

1215 Mr. Reed 1:17:21

1216 Oh, no.

1217 Mr. Coppelman 1:17:23

1218 For what was this one that wouldn't apply? It's merely for information so that if the
1219 department chooses to read that additional information, they'll at least capture the
1220 discussion, they'll get a sense for what the discussion was.

1221

1222 Ms. Bridgeo 1:17:39

1223 That's a gray muddled area it is, and you just made it grayer and muddled dark.

1224

1225 Mr. Reed 1:17:43

1226 This has been my concern all along.

1227

1228 Ms. Bridgeo 1:17:47

1229 That's why I didn't say anything.

1230

1231 Mr. Reed 1:17:51

1232 That's why I've been cautious about it. And, again, I know as an individual, we can all
1233 do what we feel we need to do as individuals, but we need to identify ourselves. You
1234 know, remember the town I'm and this this is just something I believe you should be
1235 aware of, you know,

1236

1237 Ms. Bridgeo 1:18:08

1238 In relation to this conversation, something that I need to bring up our site walk
1239 minutes have never been posted. Then never got posted. None. I don't know. Okay.
1240 They've never been.

1241 Mr. Reed 1:18:26

1242 I don't know, but I've never personally done them for zoning, but I've never followed
1243 up on it because I know that I know that Chris used to.

1244

1245 Ms. Bridgeo 1:18:35

1246 Site walk ones have not appeared.

1247

1248 Mr. Reed 1:18:37

1249 Those are the ones you did. Yep. And they never got posted.

1250

1251 Ms. Bridgeo 1:18:40

1252 We've never received them.

1253

1254 Mr. Reed 1:18:43

1255 So, you turned them in. Okay. So those would be the site walk from Langford Road
1256 and Green Road. Those two are we talking? Oh, Manchester Road Manchester
1257 Road and from Green Road, Green Road, Old Manchester, and Green Road. Those
1258 have never been posted. Okay, would you just make a follow up and see if they are
1259 still in existence, please? Because some of those are quite old.

1260

1261 Mrs. Luszcz 1:19:14

1262 So do I understand correctly he came before us for the driveway crossing of the
1263 wetland
1264
1265 Mr. Reed 1:19:19
1266 It is just strictly just the wetland crossing.
1267 Mrs. Luszcz 1:19:23
1268 When he begins to build, he doesn't have to come before us because the
1269 residential? Correct?
1270 Mr. Reed 1:19:27
1271 It's residential pre-existing lots, he has to meet all the building requirements. If in
1272 doing that he can't meet some of those requirements that could then trip something
1273 that he would have to come back for.
1274
1275 Mrs. Luszcz 1:19:42
1276 So, my question to follow up, that he goes for a building permit. Just the inspector
1277 works with you with all the building permits.
1278
1279 Mr. Reed 1:19:52
1280 No, only if there's a problem.
1281
1282 Mr. Coppelman 1:19:56
1283 Once this board takes its action and its vote, They're out of it. They're done handed
1284 off, it moves off, it moves on.
1285
1286 Mrs. Luszcz 1:20:03
1287 You guys are working in the community development office. I didn't know if that was
1288 also building inspectors part of that office.
1289
1290 Mr. Coppelman 1:20:10
1291 Oh, not really.
1292

1293 Mr. Reed 1:20:13

1294 No, and the only thing that comes back through there, the final prints the final as built
1295 and the Mylars, and all that kind of stuff. That's, and that's just the final goes back to
1296 recording, putting them in the right slot.

1297

1298 Mrs. Luszcz 1:20:29

1299 So, I can see the disconnect.

1300

1301

1302 Mr. Coppelman 1:20:32

1303 Yeah. Well, there, obviously, there's a there's an expectation and a reliance that, that
1304 people in different departments who have responsibility for doing certain things are
1305 going to do what they are supposed to do, and they're going to follow through or
1306 they're going to be thorough, and there, if there are conditions on an approval from
1307 this board, that when the inspection is done out in the field that whoever's doing that
1308 is looking at that conditional approval and making sure that those conditions are
1309 being adhered to.

1310

1311 Ms. Gott 1:21:08

1312 The problem is right now is that we're somewhat dysfunctional. Well, I tried to be
1313 polite. We've not always, we are missing people. And we don't have a process. And
1314 we have new people and old people and leaving people.

1315

1316 Mr. Coppelman

1317 And I was just indicating I understand what you're saying, just for the record, I was
1318 indicating how, how the process works should work. Correct? Yeah. And I'm saying,
1319 because of all these changes, and things that are going on right now, we don't have
1320 smoother processes than we should have. And that's not unique to this town.

1321

1322 Ms. Gott 1:21:53

1323 Of course.

1324

1325 Mr. Reed 1:21:54

1326 No, it's not. And we had a code enforcement officer for a long, long time. And many

1327 times, when a town has had one for a long time, it takes several cycles to get settled
1328 back in and to find the right fit. And to get that going. This is not unusual, guys. You
1329 know, I've worked in towns all over the State, gotten permits and towns all over the
1330 state. And some guys are there forever. And sometimes, you know, it takes a while
1331 to get it all sorted out.

1332

1333 Mr. Coppelman 1:22:21

1334 And even when someone is there for a very long time and well established doesn't
1335 always necessarily mean that the process is going to be followed the way it should
1336 be.

1337

1338 Ms. Bridgeo 1:22:30

1339 Sorry, I just had an epiphany, epiphany. I did well, as we're sitting here, there's a
1340 light above. So, when I was reading, the minutes from the zone, G, and all of that,
1341 one of the things I noticed was, Mr. Mailhot is present in all of these. That's the
1342 building our building inspector, when did we stop having the building inspector come
1343 to the planning board meetings.

1344

1345 Ms. Gott 1:23:08

1346 When someone made the determination that he didn't need and when somebody
1347 decided they didn't want to come here, and there were lots of reasons

1348 Mr. Reed 1:23:17

1349 there has not been one here since I've been coming since I've been a member.

1350

1351 Ms. Gott 1:23:22

1352 I will tell you, I sat here and said, we need to have that person. I

1353

1354 Ms. Bridgeo 1:23:25

1355 It was just when I read some of these questions. I sat there and I realized, as I read
1356 this, that the building inspector actually brought up a lot of the information and said
1357 he also was the one writing down bringing forth back and forth.

1358

1359 Ms. Gott 1:23:39

1360 The Zoning Board has someone there. We used to and I for one.

1361

1362 Ms. Bridgeo 1:23:44

1363 Well, the Zoning Board has the building Inspector, why don't we?

1364

1365 Ms. Gott 1:23:47

1366 Well, again, I expressed concern that we didn't have someone here I think we
1367 should.

1368

1369 Mr. Reed 1:23:53

1370 Is it normal? Let me just you guys get around a lot more than I know,

1371

1372 Mr. Coppelman 1:23:56

1373 Well, I can tell you that. I circuit ride for one other community and the building
1374 inspector is and is there all the time as I am there. And he and I sit together and
1375 between the two of us it provides a really good, a really good base to keep us out of
1376 trouble for questions like this that are coming up. I can tell you in my own town on
1377 which board I chair there, there. It doesn't happen that way. And I wish it would
1378 because I know that when that person is there, it's a better situation. Okay. But
1379 oftentimes it's a matter of that person being at these meetings, its additional money,
1380 its additional time becomes a budget issue. Sometimes if it happens to be an
1381 individual who perhaps has difficulty attending night meetings, which can be an
1382 issue. So, any number of reasons but it happens both ways. I mean, sometimes I do
1383 it, some don't.

1384

1385 Ms. Gott 1:25:04

1386 I believe that. Are they salaried employees? Typically. Yeah. So that would take care
1387 of that issue. Salary, hourly? Well, you still can't?

1388

1389 Mr. Reed 1:25:17

1390 In what respect?

1391 Ms. Gott 1:25:19

1392 It's not an hourly position. So, you don't have to pay for the hours that they're here.
1393 Salary. It's an expected part of their position.

1394

1395 Mr. Reed 1:25:28

1396 Well, yeah, if they know that going in, but if you change the rules after they're in the
1397 door.

1398

1399 Ms. Gott 1:25:32

1400 I understand right now, it might not be possible. That's something we'd have to look
1401 at. But is if that's a condition of employment, then it becomes Yeah,

1402

1403 Mr. Reed 1:25:42

1404 If it was part of the job scope, that's different if we suddenly, I mean, 10 years down
1405 the road since the guy was sitting here, if we suddenly changed the rules, then that
1406 means we changed it for everybody.

1407 Ms. Gott 1:25:55

1408 I worked a job seven days a week, you know, that we covered eight in the morning
1409 till 10. At night. Yeah. So, there were creative ways of doing that. You could have
1410 someone that, no, I'm serious, you could have someone work, you know, 12 to nine,
1411 or, you know, what? No, no, those kinds of creative logistics right now.

1412

1413 Ms. Bridgeo 1:26:18

1414 And Brad's over there as well, like the logistics of a position. I'm backing up. Yeah,
1415 I'm backing up saying, should we, can we please just then look into it? Because
1416 reading through and going that way, I thought that was a great way to have some
1417 cohesive.

1418 Mr. Coppelman 1:26:35

1419 No, it is a good thing.

1420

1421 Mr. Reed 1:26:36

1422 It does make good sense. And most of the time, we have had a representative at
1423 zoning. Not always, but most of the time, I think at least he was available on the
1424 phone or something like that, you know, because he won't understand most of the
1425 things that come to zoning come because an applicant was told by the building
1426 inspector, bring it to us, right. So, he would tell us the why. So, in other aspects, why
1427 there was direct involvement?

1428 Ms. Bridgeo 1:27:05

1429 I don't want to know, I just don't know where we got, like, we have some of the
1430 discussion. So how do we proceed with a second step on some of the things that we
1431 bring up? How do we get to step them?

1432 Mr. Reed 1:27:19

1433 We've asked a couple questions. The staff is going to look at the zone G, the original
1434 warrant article, and that stuff we're going to get, they're going to look at that and give
1435 us some,

1436

1437 Mr. Coppelman 1:27:29

1438 And is someone going to provide that to us?

1439

1440 Ms. Bridgeo

1441 I will.

1442

1443 Mr. Reed 1:27:33

1444 She is going to give you the original otherwise, it's just in the Town records.

1445

1446 Mr. Coppelman 1:27:37

1447 And if you could send it to Maddie or both of us, whatever, and then we'll then we'll
1448 kibitz about it.

1449

1450 Mr. Reed 1:27:41

1451 And once they get a look at that, they'll make a recommendation as to whether we
1452 need to go further or have a meeting specifically about it. And we asked about, trying
1453 to find out if we can find any information about where the electronic device recording
1454 evolved from, not what you asked them. But the original minutes that we're getting
1455 right now are done electronically. The three of us said that we would like to
1456 participate if there is a discussion, Gretchen is hesitant without legal weighing in
1457 ahead of time, I say, but that's three out of the four. So, I would say that we're just so
1458 I'd say we're okay. If you want to pass that on. Yes. And then there was the other
1459 thing. building inspector? The building inspector? Yes. I will ask from a local folks,
1460 and I will take a trip to town hall. Because I don't know what's going on down there.
1461 Right now, with all the changes. If you know, we have to be careful just how deep we
1462 stir this right at the moment, folks, I want too really be clear. You know, there's a lot
1463 going on down there. You don't have too just, but we did it. But it's a great question.
1464 And it would be a big help to us. I do believe.

1465

1466 Ms. Bridgeo 1:28:56

1467 Can I ask one more question? I'm very sorry, you guys. So, then a lot, everybody.
1468 TRC? Yes. When did we establish TRC? And a couple times and the procedure of
1469 TRC. And why do we have it set up that they go to TRC before us? Sometimes we
1470 don't?

1471

1472 Ms. Gott 1:29:20

1473 It's not it's not a requirement. Okay.

1474

1475 Ms. Bridgeo 1:29:25

1476 Some people they choose to.

1477 Mr. Reed 1:29:27

1478 Generally, when someone is commercial or industrial, they have an application like
1479 that. Staff generally tells them what this has been, I believe, and I'm not. I don't
1480 believe I'm speaking on a turn. Staff usually tells them that it might be good for them
1481 to go to TRC let our engineers get a look at it. Take care of the technical aspects
1482 before they take the time at the planning board.

1483

1484 Ms. Bridgeo 1:29:59

1485 I guess do we have a procedure like an actual procedure. How, how, and then
1486 because my other thing is I'm going to be frank is that? I know I've asked, and Glenn
1487 had said that he didn't think that somebody from the planning board should be at
1488 TRC. But I think that the information from TRC needs to be,

1489

1490 Mr. Reed 1:30:24

1491 You can get the minutes from the meeting, I get the minutes from those meetings, I
1492 asked for them. Like the minutes from the Green Road meeting, I asked for those, so
1493 that I could understand what the discussion was about and make sure that I had a
1494 good understanding when I got here. So, I asked for those meetings. And, and if
1495 there's a, if there's a project that we're at the point of finishing up, and we ask them
1496 to go back to TRC, I request those, I don't have them sent to everybody, but I
1497 request them. So, they are available.

1498

1499 Ms. Gott 1:30:57

1500 Motion:

1501 Ms. Gott made a motion that as a matter of process, a regular process that we as
1502 the planning board members receive in our packet, TRC minutes. Ms. Bridgeo
1503 seconded the motion. The motion passed with a vote of 4 in favor, 0 opposed and 0
1504 abstentions.

1505

1506

1507

1508 Ms. Gott 1:31:45

1509 As part of that discussion of TRC. It would be as I've mentioned before, I found it
1510 frustrating that the meeting was canceled, but no one knew and apparently it was
1511 canceled a while before, like not that day.

1512

1513 Mr. Reed 1:32:06

1514 I don't know how they noticed that stuff.

1515 Ms. Gott 1:32:08

1516 That was difficult because people came from a little bit of a distance. The other thing
1517 that about TRC the process somehow was very frustrating that in cases a decision
1518 has been made by the board. It's happened twice with the TRC board, you know, as
1519 our board or board planning board, a decision has been made to send it to TRC. And
1520 that has been countermanded somewhere along the line and decided that we didn't
1521 need to have TRC input. Okay, when there's a motion by the planning board, to go to
1522 TRC or to do anything. That's a motion, it cannot be countermanded. I say it's
1523 happened twice.

1524 Mr. Reed 1:32:53

1525 I know, I know, we requested things from TRC in the past. And there's been a couple
1526 of occasions over the last two years that their initial responses, we don't look at that
1527 type of project.

1528

1529 Ms. Gott 1:33:04

1530 Not talking about that Brad. It's an actual motion, natural motion, okay. From this
1531 board to go to TRC. That should not change that should happen without question.
1532 And as part of that process, I found that somewhere along the line, a decision was
1533 made, which members of TRC would be asked to come in and invited to the
1534 meeting. Some people were told that it wasn't necessary to be at the meeting. I
1535 found that frustrating. Okay. TRC is TRC. That committee should be there.

1536 Everybody should have input.

1537

1538 Mr. Reed 1:33:43

1539 Well, the only times I've sat at TRC was when I personally had a project before the
1540 time and notifications and so forth, have never been a problem. Because I get
1541 everything by email. I don't know what the town posting requirements are.

1542

1543 Ms. Gott 1:34:04

1544 It's not that it's the TRC members themselves, the full TRC committee, a team that is
1545 always the team, whatever you want to call it has not been present. Somewhere
1546 along the line, a decision apparently was made that certain members, it was not
1547 necessary for them to be there. I don't think that that's when we as a board, asked to
1548 have TRC review a project TRC is everyone.

1549

1550 Mr. Reed 1:34:34

1551 Okay, well, I'll be going to the town office early next week to talk about the building
1552 inspector. I will also ask how the TRC meetings are called and who decides who is
1553 invited? I'll ask that question. I can do that. I do know a lot of what's going on in town
1554 right now, folks, because everybody's just swamped down there.

1555

1556 Ms. Gott 1:34:56

1557 I understand that but we're still I don't want us to be in trouble. I want to Do it right.

1558

1559 Mr. Reed 1:35:01

1560 And I understand that, and I really believe they're trying to do the best that they can.
1561 And I know I can say what I'm thinking about the conditions down there.

1562

1563 Ms. Gott 1:35:12

1564 It's frenetic down there, there's no question.

1565

1566 Mr. Coppelman 1:35:16

1567 May I read you the section of the site plan review regs.

1568 Mr. Reed 1:35:20

1569 There is a requirement section that lays out.

1570

1571 Mr. Coppelman 1:35:23

1572 How TRC happens and how the Planning Board happens. For reference, it's Article
1573 Three, there's a site plan, review regs, Article Three, section 3.0302. Under general
1574 procedures, it's on page nine of 42. And it's the second paragraph. Upon submission
1575 of an application to the Community Development Department, once all required fees
1576 have been paid, a zoning determination is conducted to ensure conformity with the
1577 zoning ordinance. Upon receipt of a successful zoning determination, the application
1578 will be scheduled for a public hearing with the TRC. To review the technical aspects
1579 of the plan, once the TRC determines the plan is substantive, substantive enough to
1580 move forward. A public hearing with the planning board is then scheduled.

1581

1582 Mr. Reed 1:36:23

1583 This is laid out this is the way to go to the TRC.

1584

1585 Mr. Coppelman 1:36:26

1586 This is the way it's supposed to happen and is supposed to go to TRC. First, and
1587 once TRC is satisfied, then it comes to planning. And both of them are public
1588 hearings, both of them are noticed. Which means abutters and everything.

1589

1590 Ms. Gott 1:36:37

1591 I just feel bad that we have if we have questions, then that we end up sending them
1592 back again. And I That's seems unfair to the applicant. But I mean to have the I know
1593 what you're saying I see the reg hear the reg.

1594

1595 Mr. Coppelman 1:36:56

1596 And site plan. It's different for subdivision, by the way, because I've looked at this,
1597 I've looked at both of them. I don't believe subdivision is a requirement like it is with
1598 site plan, I believe it can be that makes sense.

1599

1600 Maddie Dilonno 1:37:05

1601 Generally, subdivisions just come here. First, right? Right, that makes sense. Unless
1602 it was complicated.

1603

1604 Mr. Reed 1:37:11

1605 But many times, we asked subdivisions to go to TRC because of the roads, the fire
1606 cisterns.

1607

1608 Ms. Gott 1:37:19

1609 But we have the ability to change the site plan regulations if we don't want to, I
1610 mean, that's something this board can do. It's not doesn't take a town ward or
1611 anything? No, no. So, we could discuss what the benefit is to be gained and all that.
1612 And that's something that might be appropriately on the agenda, to talk about how
1613 we want to utilize TRC, how they can help us and how we can help them. You know
1614 what order of questions and all those kinds of things. You get something that might
1615 be up for discussion and perhaps change in the site plan regs.

1616

1617 Mr. Coppelman 1:37:55

1618 You can do that.

1619

1620 Ms. Gott 1:38:29

1621 Um, it was, I just want to say that I appreciate this discussion, is what I'm trying to
1622 say. And I would like us to you had mentioned maybe at the end of the meeting, if
1623 we do schedule training or something else like that, I would like to formalize that, that
1624 we do make time because otherwise they're sometimes you know, man, we're
1625 packing up and it's tired, and then maybe sleeping out there. And I'm done. But I'd
1626 like to have us have a chance to have this kind of discussion periodically, and, you
1627 know, stuff builds up, and you need to bring it to a meeting and talk with each other.
1628 But if everybody's sitting there with all their stuff packed.

1629

1630 Mrs. Luszcz 1:39:06

1631 And if we put it on the agenda.

1632

1633 Ms. Bridgeo 1:39:09

1634 What if we added it under, I think we should?

1635

1636 Mrs. Luszcz 1:39:11

1637 Well, and then it's written.

1638

1639 Mr. Reed 1:39:13

1640 And I'm fine with that. I really am. We just have to a point that if we get busy like we
1641 were last year, we will just have to work really hard not to get caught up in the
1642 weeds. Yeah, you know, when we're, you know, because

1643

1644 Ms. Gott 1:39:27

1645 When we when we are so busy then maybe that's when we really need to say Okay,
1646 folks, we are going to schedule 20 minutes at the end of the meeting. Come
1647 whatever high water and this is what it's going to be.

1648

1649 Mr. Reed 1:39:39

1650 Yeah. And I'm okay with that within reason, but if an applicant has waited two hours
1651 for us to hear him, I really have a hard time pushing them. I do too.

1652

1653 Ms. Gott 1:39:49

1654 I even as an abutter. I felt bad for this guy that we kept shoving him off. Yeah, okay.
1655 Yeah, it's difficult. No, that's not what I'm asking to do.

1656

1657 Mr. Reed 1:40:00

1658 I don't think anybody here is deliberately trying to make their jobs harder. We just
1659 want it done. Right. And I think everybody here really wants it.

1660

1661 Ms. Gott 1:40:08

1662 So, but the fact that we're, if our schedule is busy, then we're not going to be able to
1663 put someone in if we have hearings on that's not the time to schedule this. But is his
1664 chair, then you want to tell us?

1665

1666 Mr. Reed 1:40:21

1667 I heard that.

1668

1669 Mr. Coppelman 1:40:25

1670 I was trying to confirm my statement that TRC wasn't required for subdivision. And
1671 I'm reading the subdivision regs and it is required. And it says at the time of
1672 application, there's a whole procedure for application it's, it's on pages 17 and 18 of
1673 the subdivision regs. At the time of application, the applicant will be given a date and
1674 time for the application to be presented to the Technical Review Committee.

1675

1676 Mr. Reed 1:40:55

1677 I thought any site plan or subdivision. I thought anything that affected the town
1678 infrastructure had to go to the TRC.

1679

1680 Mr. Coppelman 1:41:01

1681 And well, in your You're right. I thought only one was required. And the other was a
1682 recommendation. But apparently, they're both required for me.

1683

1684 Mr. Reed 1:41:12

1685 And that's fine. So, we will request TRC minutes as soon as they're available after
1686 meetings. To give us insight. I do know, we did ask the question. We, as members of
1687 a land use board cannot attend another land use board meeting which TRC would
1688 be other than the one representative to the zoning is that? I believe that's how it
1689 was? And I probably use the wrong terminology.

1690 Mr. Coppelman 1:41:40

1691 The issue is that as a member of the public, you can attend any meetings, at your
1692 leisure, but when you're on a board like this a land use board that's going to be
1693 hearing an application. There's nothing to say that you can't attend a TRC meeting.
1694 But you certainly can't participate. You could be there.

1695 Mr. Reed 1:42:15

1696 As you know, to listen, you can observe, you can observe and listen. But I was also
1697 cautioned about what you bring to your meeting for preconceived ideas and that kind
1698 of thing. That's that was the big caution I was given when I asked not the town
1699 lawyer, my own lawyer.

1700

1701 Mr. Coppelman 1:42:32

1702 Well, I can. I can tell you, again, going back to my own personal situation on the
1703 board that I'm on in my town. I've wanted to sit in on TRC meetings, and I've been
1704 cautioned by the town not to do that. Not even as an observer.

1705

1706 Mr. Reed 1:42:48

1707 Yeah. And that was the bottom line of what I got out of it. And that's why I just want
1708 everybody to be careful. You can and I would recommend if you went to any other
1709 meeting, even if it's a zoning board, just if you want to see what's going on, declare
1710 yourself I'm a member, the public, I'm not here as a planning board. But do not bring
1711 anything from that meeting to another meeting. You know, any preconceived ideas,
1712 any, if you will, home, you know, knowledge kind of stuff, you have to be really, really
1713 careful that we only deal with what we have on our plate. That's what I was cautious
1714 about. What's so dangerous about it?

1715 Ms. Gott 1:43:28

1716 And I don't know how to expand on that. Yeah, it's very difficult. As a board, we are
1717 supposed to hear everything at the same time as a group. It's very difficult to divorce
1718 yourself from things that's why I don't talk to anybody at the soup aisle at Hannaford.
1719 Okay, I don't want to hear stuff. Come here. I'll listen to anything you have to say.
1720 Show me Tell me whatever. But that's here when we're all around. And it's very hard
1721 to divorce yourself of things that you have heard elsewhere. So, I don't go. I when
1722 we did, we had TRC years ago, and then stopped. And the reason we stopped
1723 having TRC is because people kept saying to us well, TRC said it was okay. And
1724 guess that put an awful lot of pressure and misunderstanding on the planning board.
1725 So, we kind of ceased for a while. And then it became pretty obvious that we needed
1726 TRC back. But again, the caution was, be careful. I did when we started up again. I
1727 did go to TRC a couple times as just an interested member to see how the process
1728 went because I had no clue. And I don't think there's anything wrong with that. If you
1729 declare but again, maybe one time thing but be awfully careful.

1730

1731 Mr. Reed 1:44:52

1732 Yeah, well, it's and I it's I have the personal advantage. We've had applications
1733 come before this. So, I've been there as an applicant. So, I understand that that
1734 makes it easier for me. If you've never been there and you're wondering, what are
1735 these folks doing? What do they talk about? That's why I asked for the minutes now
1736 so I can understand, okay, what did they look at? Then if something comes up that
1737 they didn't even consider? Well, that's a reasonable thing to ask them. If there's
1738 something they've already taken care of as routine, you know, things that constantly
1739 come up driveways, you know, driveway entrances, and driveway permits, and that
1740 kind of thing, all kinds of applications. That question comes up. And that's part of our
1741 regs. It's well documented, it's well controlled. If we have a specific concern, like a
1742 sightline and a specific question in a place, that's a good question to make sure it got
1743 asked, make sure it got handled. So, I don't have any problem with the back and
1744 forth. But I think we could, again, save a little bit of time, you know, reading those
1745 minutes and say, okay, we see that the work they've already done, then as the
1746 applicant comes before us, things kind of evolve. You'll notice applications kind of

1747 evolve over the time you first see them. And by the time they get approved many
1748 times, and sometimes it's good to have that whole history to see what they were
1749 trying to accomplish and where it went from there. I think it's a good history. But I
1750 don't think it's going to be a problem getting those minutes.

1751

1752 Maddie Dilonno 1:46:19

1753 No, they're, they're recorded, and they're posted online. So why they can't be added
1754 to the packets.

1755

1756 Mr. Reed 1:46:25

1757 And they usually get them out like the next day. So, when I've gone looking for them,
1758 they are usually available the next day. So hopefully, if and, you know, again, that's
1759 one thing I would ask that. I try not to schedule a TRC meeting on Tuesday and our
1760 meeting Thursday. Yeah, no good, good. All good stuff. Tonight, I hope we can work
1761 on these things more and more, take care of these procedural things, then hopefully,
1762 before we have to get back into warrant articles, we'll be able to talk about our
1763 master plan.

1764

1765 Maddie Dilonno 1:47:00

1766 Yeah. And I'd like to just offer up if anyone has since we're going back to the
1767 dedicating time at the end of meetings to certain subjects, or if anyone has any
1768 questions or topics that they'd like to talk about, feel free to send it to us. I'm happy
1769 to, for example, give a presentation on masterplan. And you know, where the town
1770 can go with it, how we can start that process.

1771 Ms. Bridgeo 1:47:23

1772 We talked about that, like, a few months back and you were going to look at another
1773 town's master plan that we like and revisit that we'd liked a little better, it was easier
1774 to read.

1775

1776 Maddie Dilonno 1:47:34

1777 And absolutely. And so, if there's things that you want to talk about, you can let us
1778 know, we can prepare some handouts.

1779

1780 Mr. Reed 1:47:40

1781 Try to schedule that potentially for like the second meeting after town election, you
1782 know, then with a new board or whatever happens with the board. It's a new

1783 chairperson.

1784 Ms. Gott 1:47:57

1785 And so that, you know, all of us can stand a review, and instruction. We need to talk
1786 about how we do things, and not everybody understands the process. We all can
1787 stand reminders and learning, and we should all be open to that.

1788

1789 Mr. Reed 1:48:16

1790 I think that would be a great thing to have, as our first item of discussion is
1791 procedure, you know, board procedure, how we do things, how we vote on things,
1792 you know, the whole process of bringing an application to us how it goes, what's
1793 expected of the guy there, what's expected of us. And I think that'd be a great
1794 discussion.

1795

1796 Maddie Dilonno 1:48:34

1797 We want to dedicate time for that. I'm happy to help put together something, walk
1798 through it with everything would be great.

1799

1800 Mr. Reed 1:48:39

1801 That would be great. I think that'd be a great first start. And I know that would benefit
1802 everybody.

1803 Mr. Coppelman 1:48:45

1804 So, if it gets put onto an agenda, and it has a specific time, then at least it'll get done.

1805

1806 Mrs. Luszcz 1:48:49

1807 Definitely put it as an agenda item. And I would love to have that master plan.

1808

1809 Mr. Reed 1:48:55

1810 So, I think you know, I mean, that would be like, probably the first thing we should do
1811 after we get our full board here after the elections. I'm thinking we should end up with
1812 a couple more people, right. Yeah, so if we can, you know, I mean, that's only a
1813 couple weeks away, so.

1814

1815 Ms. Gott 1:49:13

1816 Not quite.

1817

1818 Mr. Reed 1:49:16

1819 Well, I'm trying to be optimistic. Gretchen, come on.

1820

1821 Ms. Bridgeo

1822 Deliberative is this Saturday.

1823

1824 Mr. Reed 1:49:28

1825 Nobody had mentioned that to me, but I just got back. Do we need to present the
1826 warrant articles this week? I guess I'll make a call tomorrow to the town office. I'd lost
1827 that on my calendar. I apologize. Sounds kind of messed up. And I had an old friend
1828 of our family that I need to go to a funeral.

1829

1830 Mr. Reed 1:50:12

1831 so, you're going to go in my place down deliberative

1832

1833 Maddie Dilonno 1:50:17

1834 I guess George will be there? Can he not?

1835

1836 Mr. Coppelman 1:50:21

1837 He has a different role. He has a different role. It's deliberative. So, it should be a
1838 planning board person.

1839

1840 Mr. Reed 1:50:25

1841 Are you available if I can't make it available? Thank you. I'm sorry, I didn't.

1842

1843 Ms. Bridgeo 1:50:29

1844 I am available. I didn't remember till just now.

1845

1846 Mr. Reed 1:50:31

1847 I'm glad you did. Thank you because I had totally spaced it. All I have been thinking
1848 about is snow.

1849

1850 Mr. Coppelman 1:50:39

1851 So, it sounds like at your deliberative session, you go through all the zoning articles
1852 and articles.

1853

1854 Mr. Reed 1:50:52

1855 Talk about warrant articles. He comes right out of the woods.

1856 (Kevin Woods entered the room.)

1857

1858 Ms. Gott 1:50:56

1859 Can I finish my statement? Yeah, go ahead. I'm sorry. Usually, now there's only
1860 three this time but or to two? Usually, they move them until the end of all the
1861 warrants. Which is like after number 29. So, it's the last thing, maybe because
1862 there's only two, you could talk to the moderator and say maybe we don't want to
1863 move them. It would be nice to get, but that's just a process thing. That's something
1864 I'm not going to be able to be there.

1865

1866 Mr. Reed 1:51:27

1867 So, I've never I've never been on this side of it.

1868

1869 Kevin Woods 1:51:32

1870 Presented on the website. They are in the beginning of the meeting, and they have
1871 Selectmen, Campbell presenting them.

1872

1873

1874 Mr. Reed 1:51:38

1875 They do. Oh, okay. Thank you, sir. Thank you. Appreciate it. Thank you.

1876

1877 Mr. Coppelman 1:51:43

1878 Well, there you go.
1879
1880 Ms. Gott 1:51:44
1881 Why is?
1882
1883 Mr. Reed 1:51:46
1884 I do not know
1885
1886 Ms. Gott 1:51:47
1887 That's not right. The planning board needs to present them. I'm sorry.
1888
1889 Mr. Reed 1:51:51
1890 I know we've always been there to explain them in exactly
1891
1892 Ms. Bridgeo 1:51:53
1893 I will be there.
1894
1895 Mr. Reed 1:51:56
1896 Thank you so much.
1897
1898 Ms. Bridgeo 1:51:59
1899 I'll be there.
1900
1901 Ms. Gott 1:52:01
1902 Make a point that it's a planning board thing. So
1903
1904 Ms. Bridgeo 1:52:24
1905 Motion:
1906 Ms. Bridgeo made a motion to adjourn. Rs. Luszcz seconded the motion. The motion

1907 passed with a vote of 4 in favor, 0 opposed and 0 abstentions.

1908

1909 The meeting adjourned at approximately 8:53 pm.

1910

1911 Respectfully submitted,

1912

1913 Jill A. Vadeboncoeur

1914

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1916